

WEST ROSEVILLE MARKETPLACE

FIDDYMENT RD. & PLEASANT GROVE BLVD., ROSEVILLE CA.

SHEET INDEX

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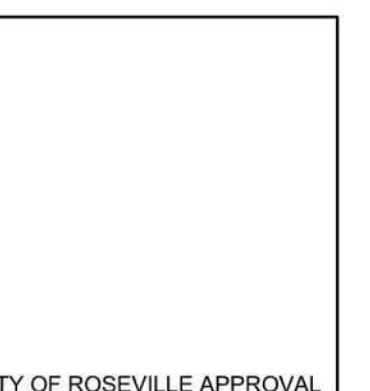
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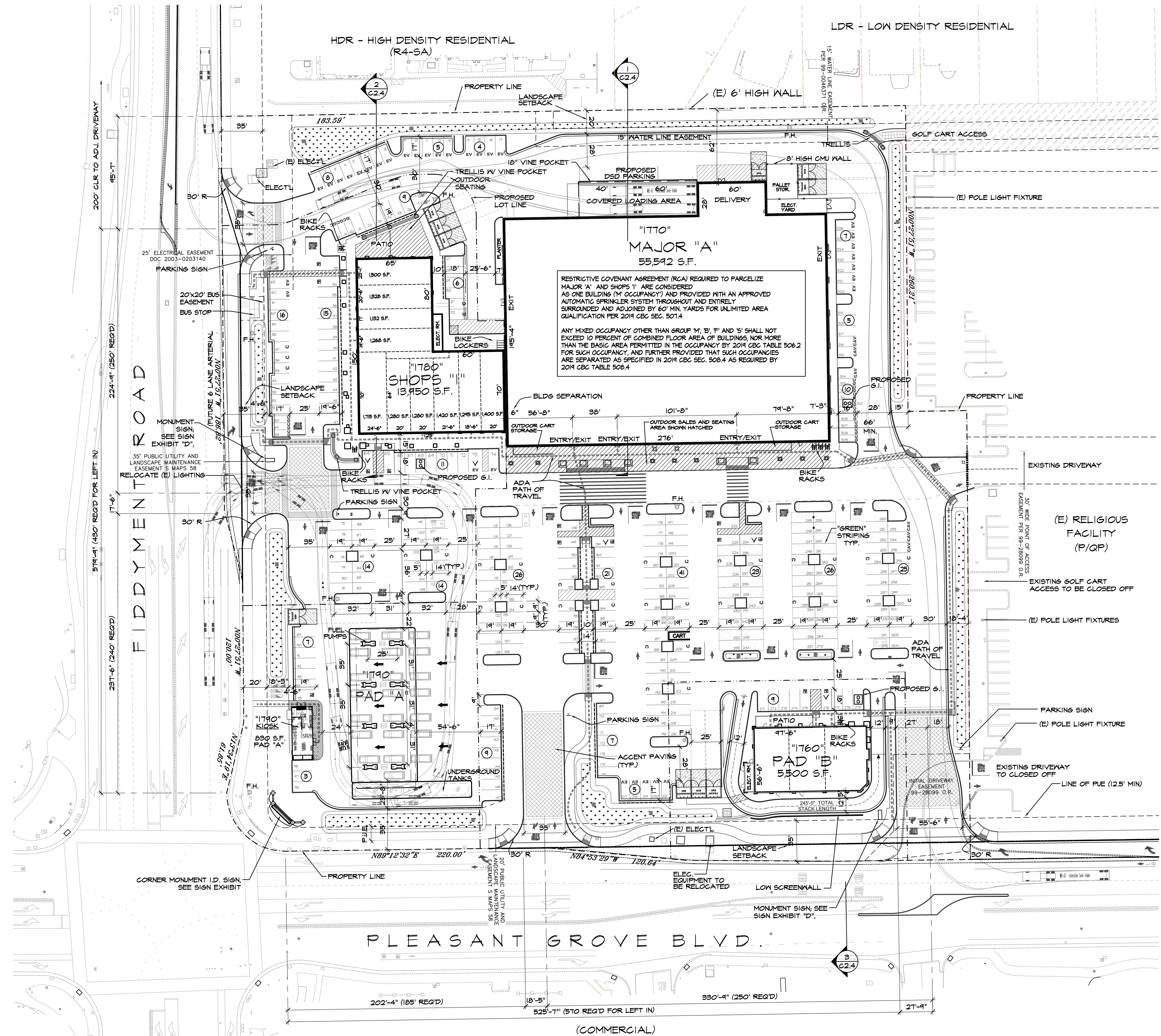
COVER SHEET, SHEET INDEX
WEST ROSEVILLE MARKETPLACE
ROSEVILLE, CA

SHEET 00.0

JOB #: 22002
DATE: 06/08/2022

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1990 S. BUNDY DR., SUITE 400
LOS ANGELES, CA 90025
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Summary

Jurisdiction: City of Roseville
 Plan: Del Webb Specific Plan
 Zone: Community Commercial (C2-SA)
 Land ±8.7 AC ±379,241 SF
 Building 75,872 SF
 Coverage 20%

Parking Required:
 Market 55,592 sf (1/300 sf) 185 stalls
 Shops 1 Retail 9,950 sf (1/300 sf) 33 stalls
 Shops 1 Rest. 4,200 sf (1/100 sf) 42 stalls
 Pad A Retail 830 sf (5 space min.) 5 stalls
 Pad B Rest. 5,500 sf (1/100 sf) 55 stalls
Total Parking Required: 320 stalls

Parking Provided:
 (C) Compact 37 stalls
 (GC) Golf cart 15 stalls
 (HC) Handicap Standard 13 stalls
 Standard 224 stalls
Total Parking Provided 326 stalls
Parking Ratio 4.29/1000

FUTURE CLEAN AIR VEHICLE (CAV)/EV PARKING:
 (per Cal Green Code CAV table 5.1065.2 & EV table 5.1065.3.3)

CAV (12% of total req. parking) 6 stalls
 EV (10% of total req. parking) 33 stalls

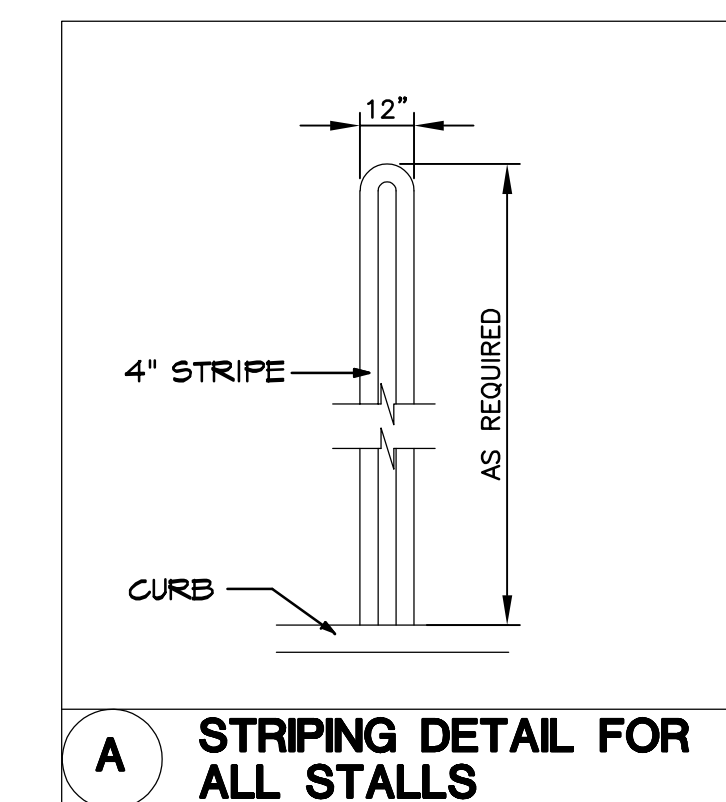
Bike Parking Provided:
 Short-Term 12
 Long-Term 4



Vicinity Map
 Not to Scale

ALL BUILDINGS, IMPROVEMENTS, THEIR OCCUPANTS AND THE USES AS SHOWN ON THIS PLAN ARE PRELIMINARY AND SUBJECT TO MODIFICATION AT THE OWNERS DISCRETION WITHOUT NOTICE.

THIS PRELIMINARY SITE PLAN IS BASED ON INFORMATION FURNISHED TO NADEL ARCHITECTS INC AND IS SUBJECT TO VERIFICATION BY LEGALS, SURVEYS AND GOVERNING AGENCIES ETC. THIS EXHIBIT IS NOT NECESSARILY A REPRESENTATION AS TO IDENTITY, TYPE, SIZE, LOCATION, TIMING OR OCCUPANCY OF ANY BUILDING WITHIN THIS CENTER.

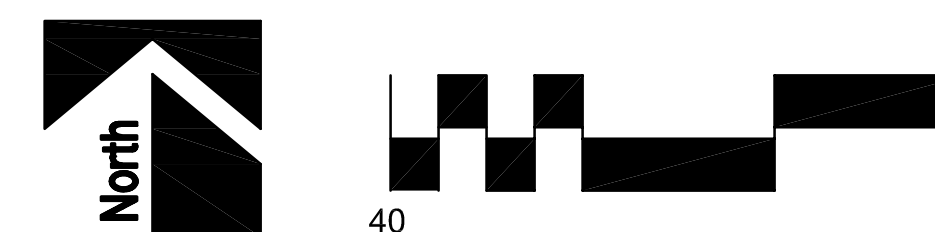


A STRIPING DETAIL FOR ALL STALLS

PRELIMINARY SITE PLAN WEST ROSEVILLE MARKETPLACE 1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

SHEET C1.1

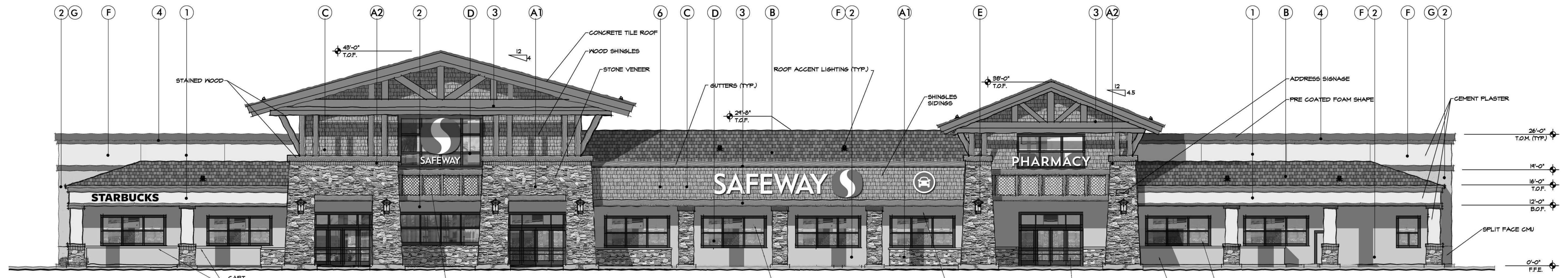
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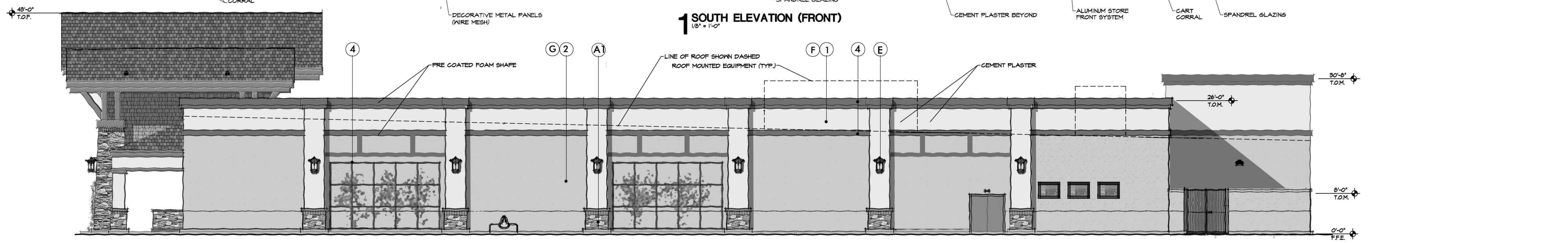
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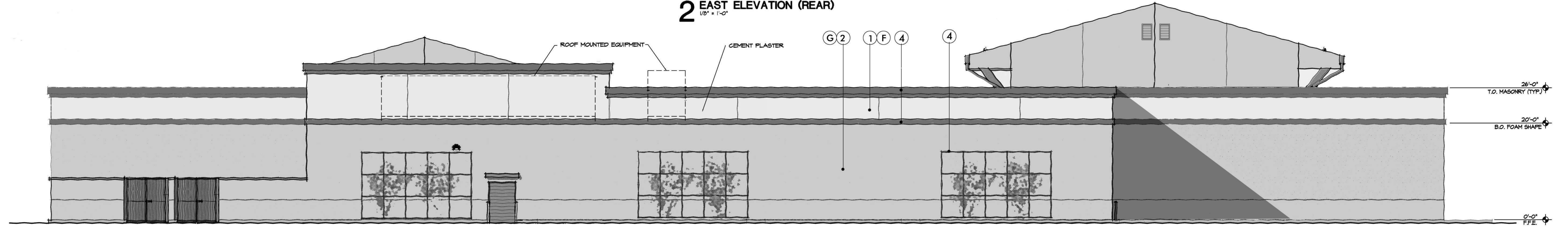




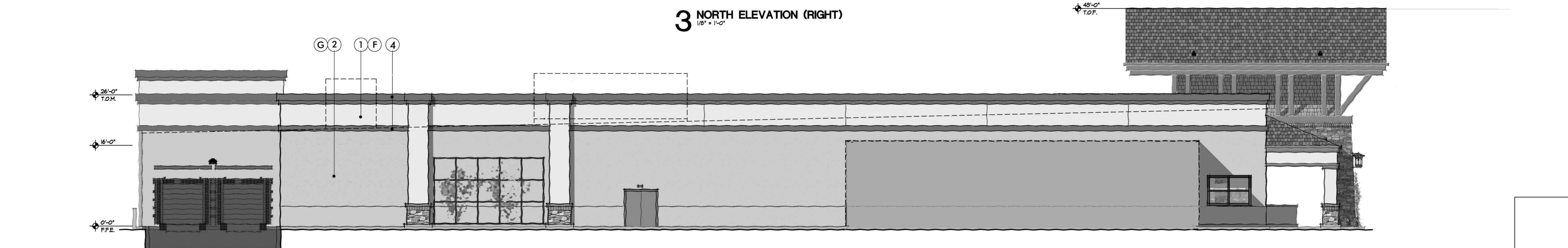
1 SOUTH ELEVATION (FRONT)
1/8" = 1'-0"



2 EAST ELEVATION (REAR)
1/8" = 1'-0"



3 NORTH ELEVATION (RIGHT)
1/8" = 1'-0"



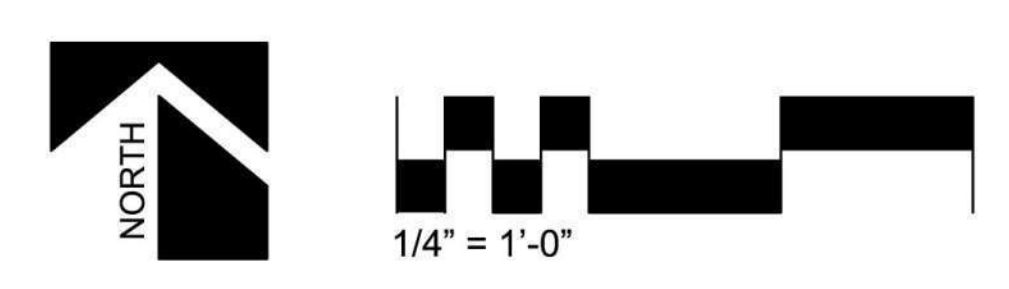
4 WEST ELEVATION (LEFT)
1/8" = 1'-0"

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ELEVATIONS : MAJOR A
WEST ROSEVILLE MARKETPLACE
ROSEVILLE, CA

SHEET C2.1A

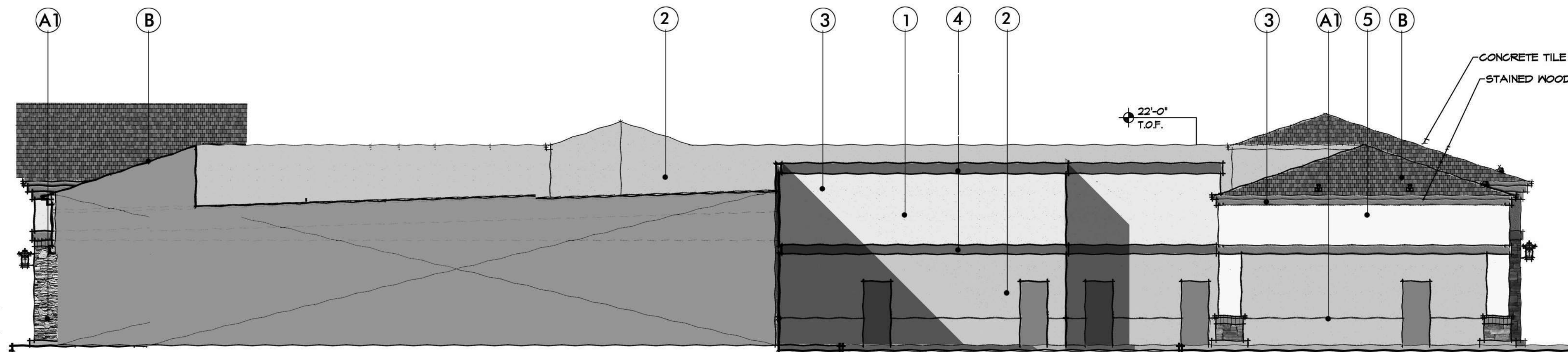
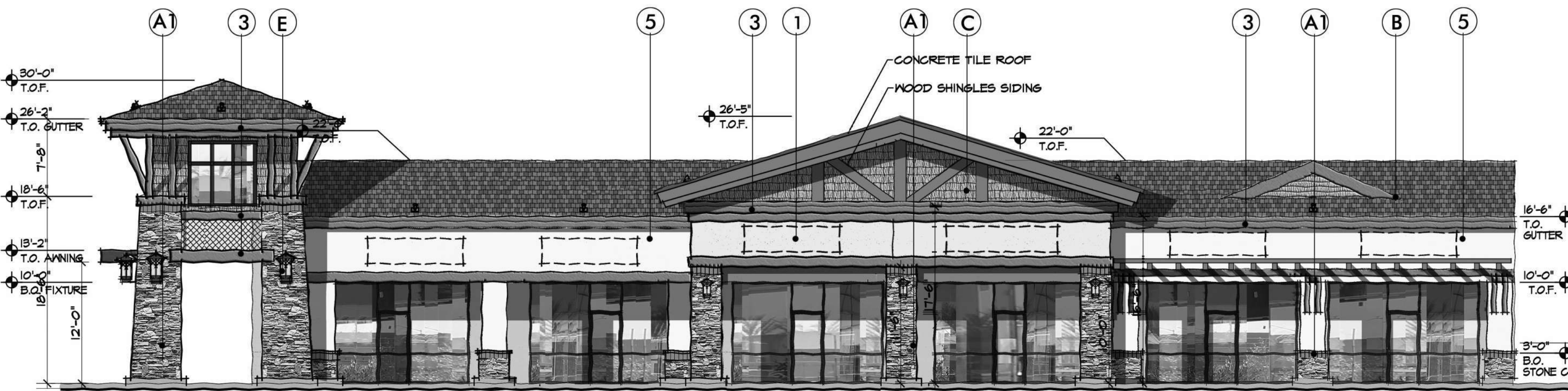
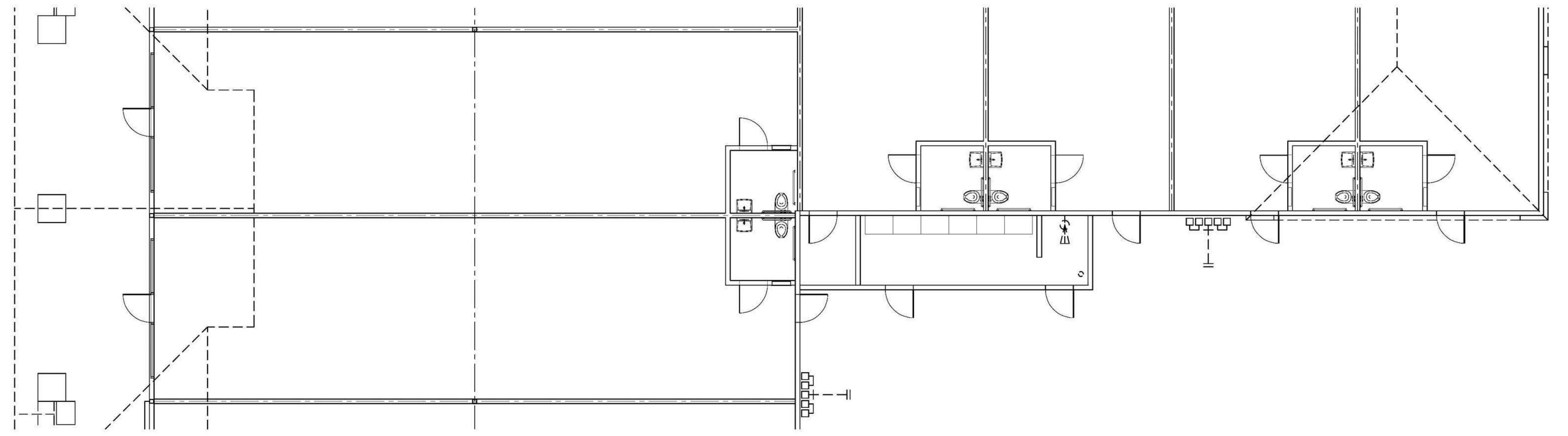
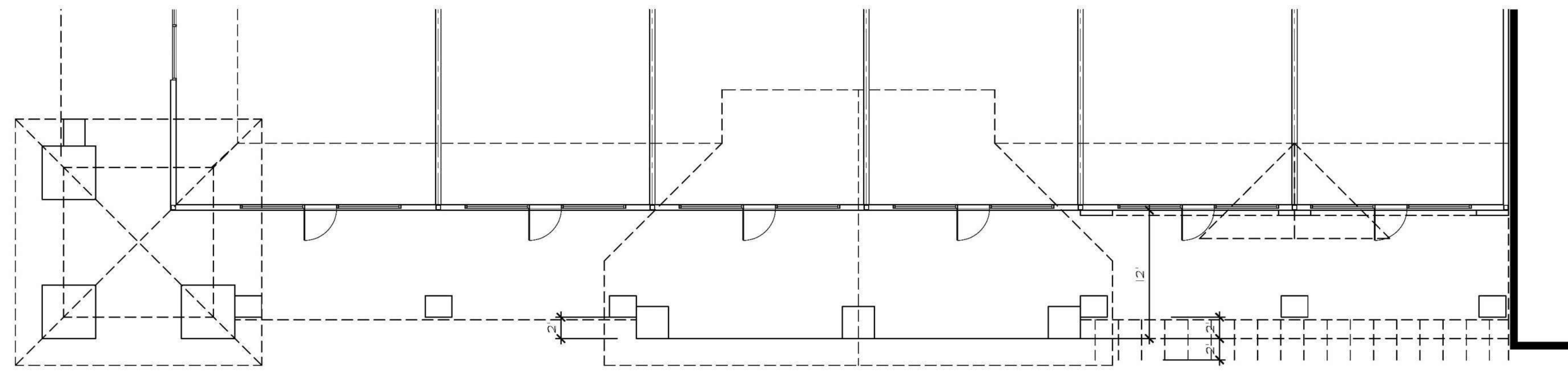
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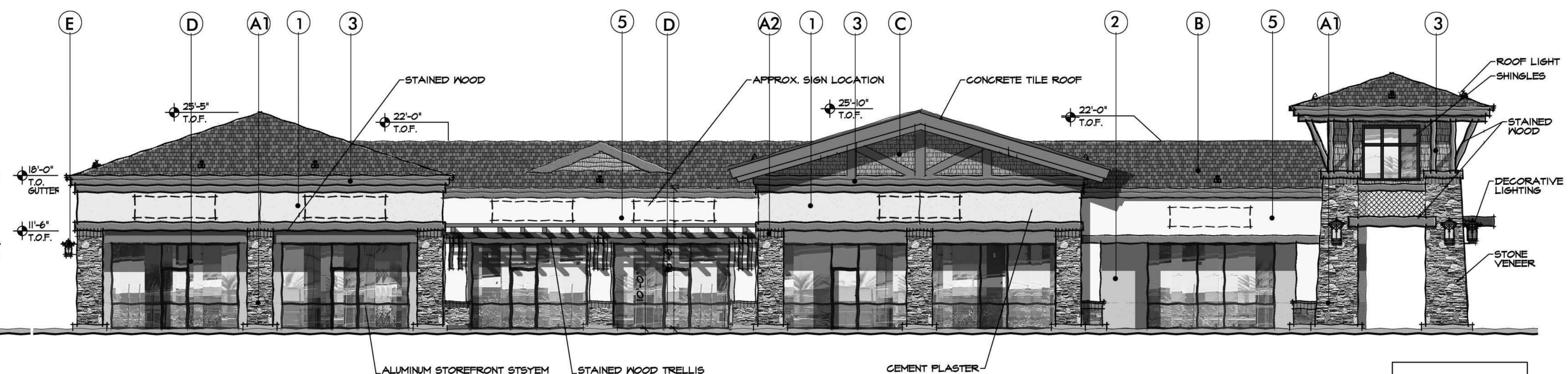
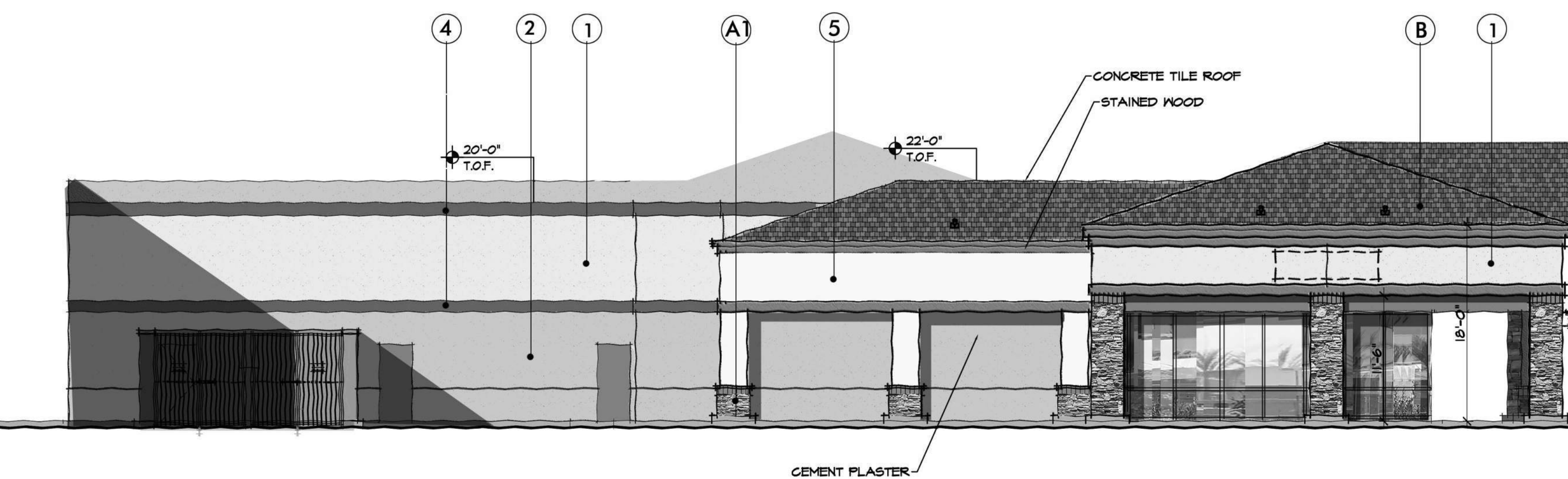
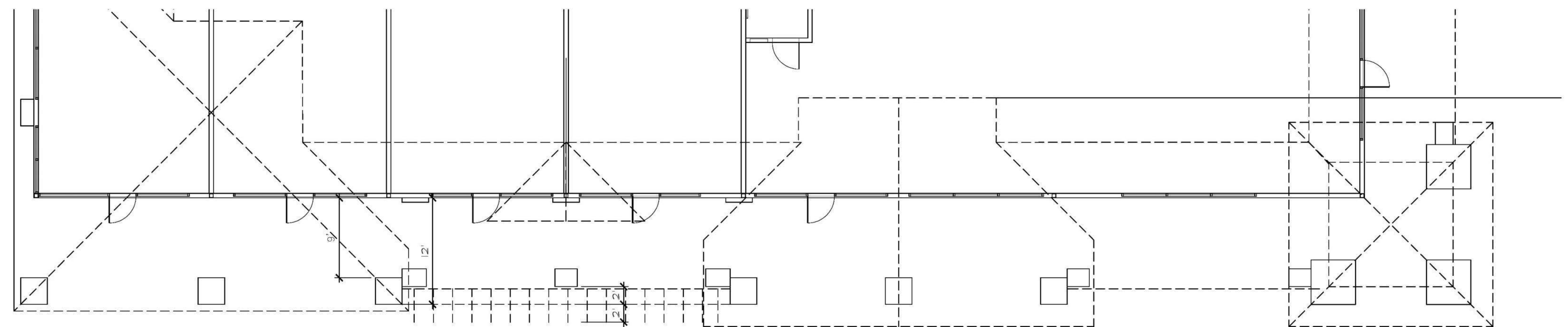
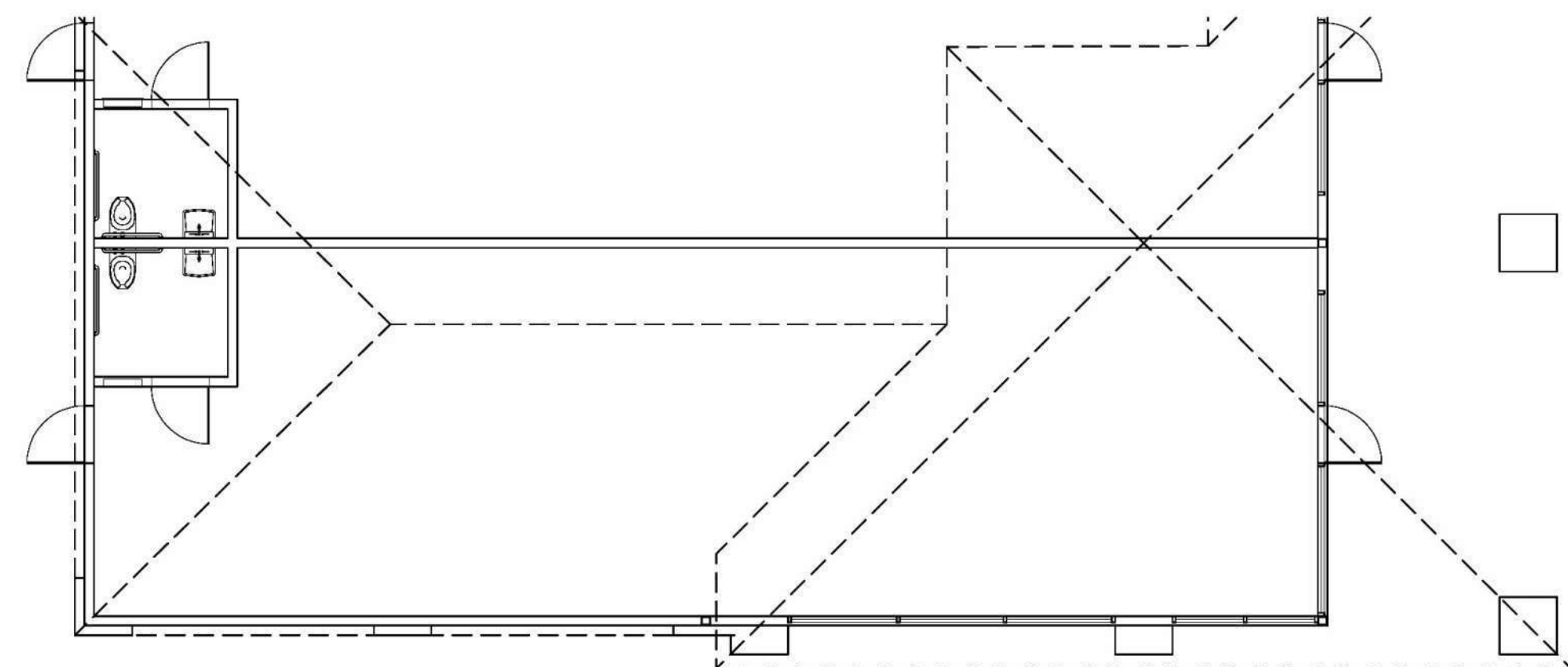
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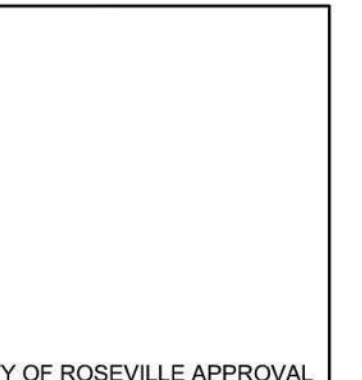
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2 EAST ELEVATION (RIGHT)
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3 NORTH ELEVATION (BACK)
1/8" = 1'-0"

4 WEST ELEVATION (LEFT)
1/8" = 1'-0"



ELEVATIONS : SHOPS 1
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ROSEVILLE, CA

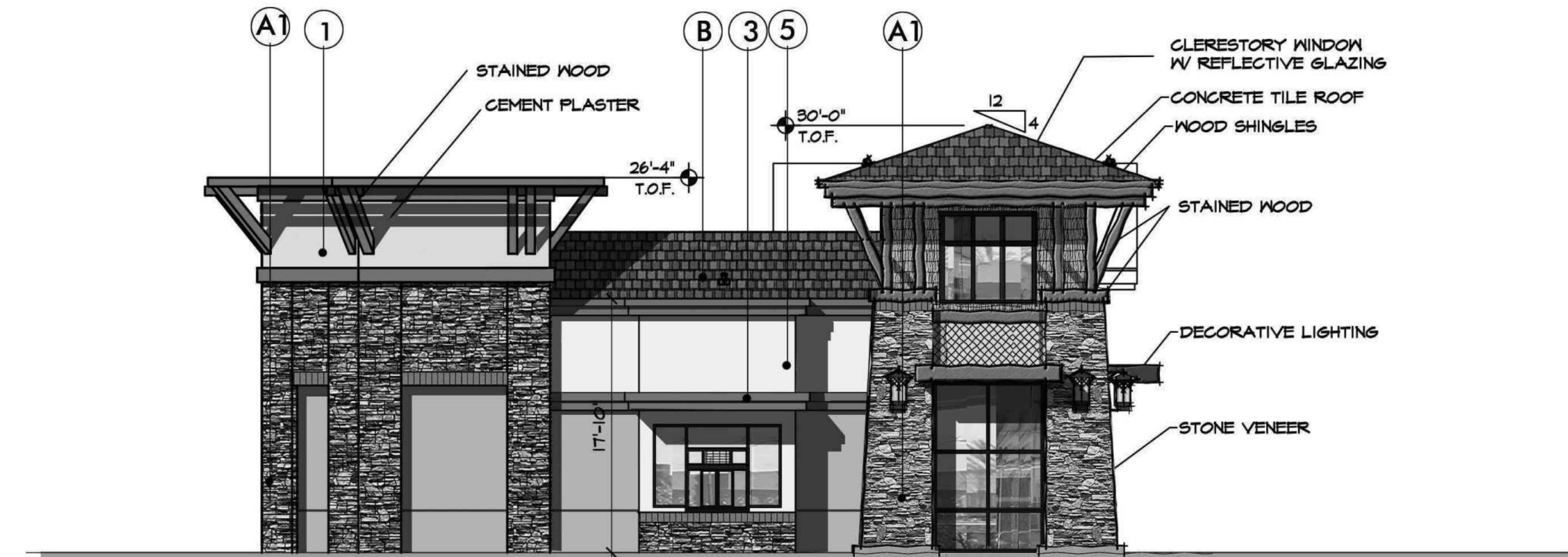
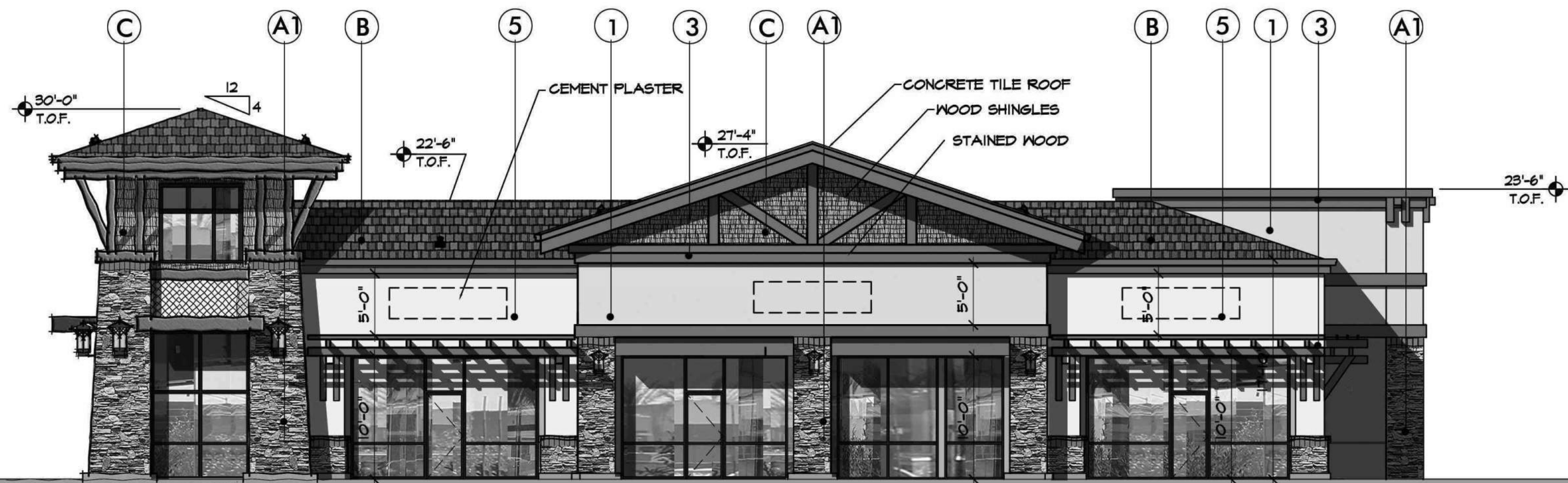
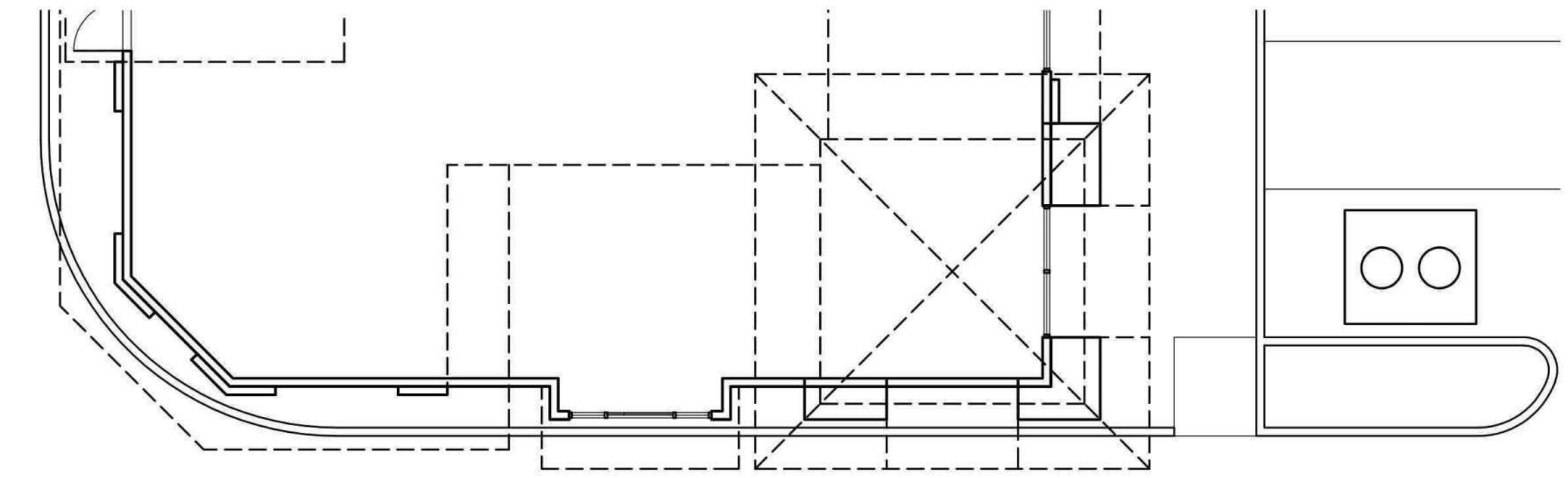
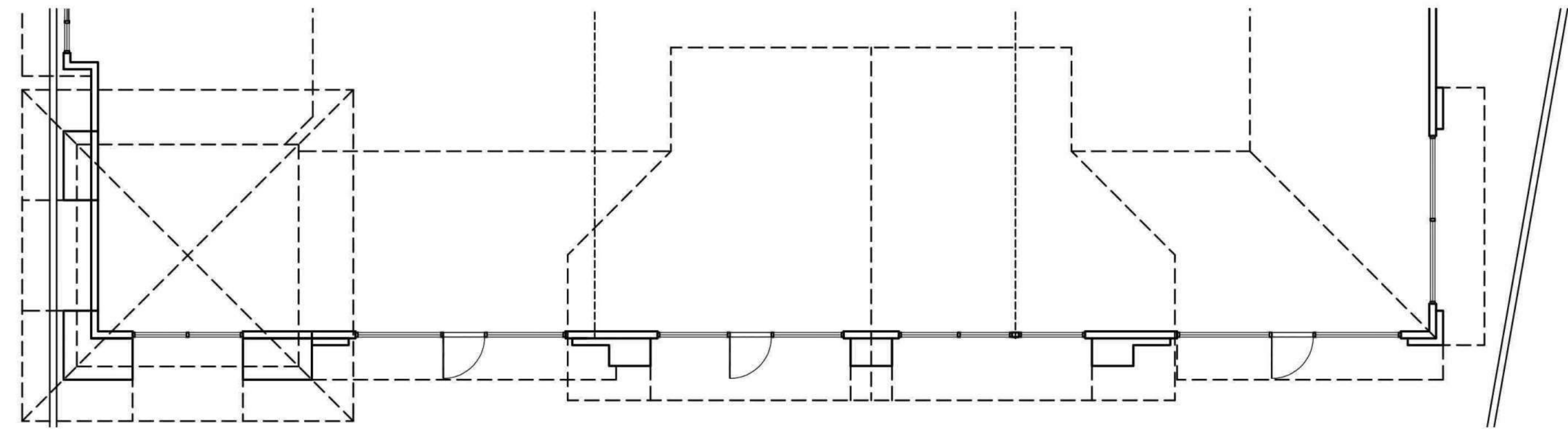
SHEET C2.1 B

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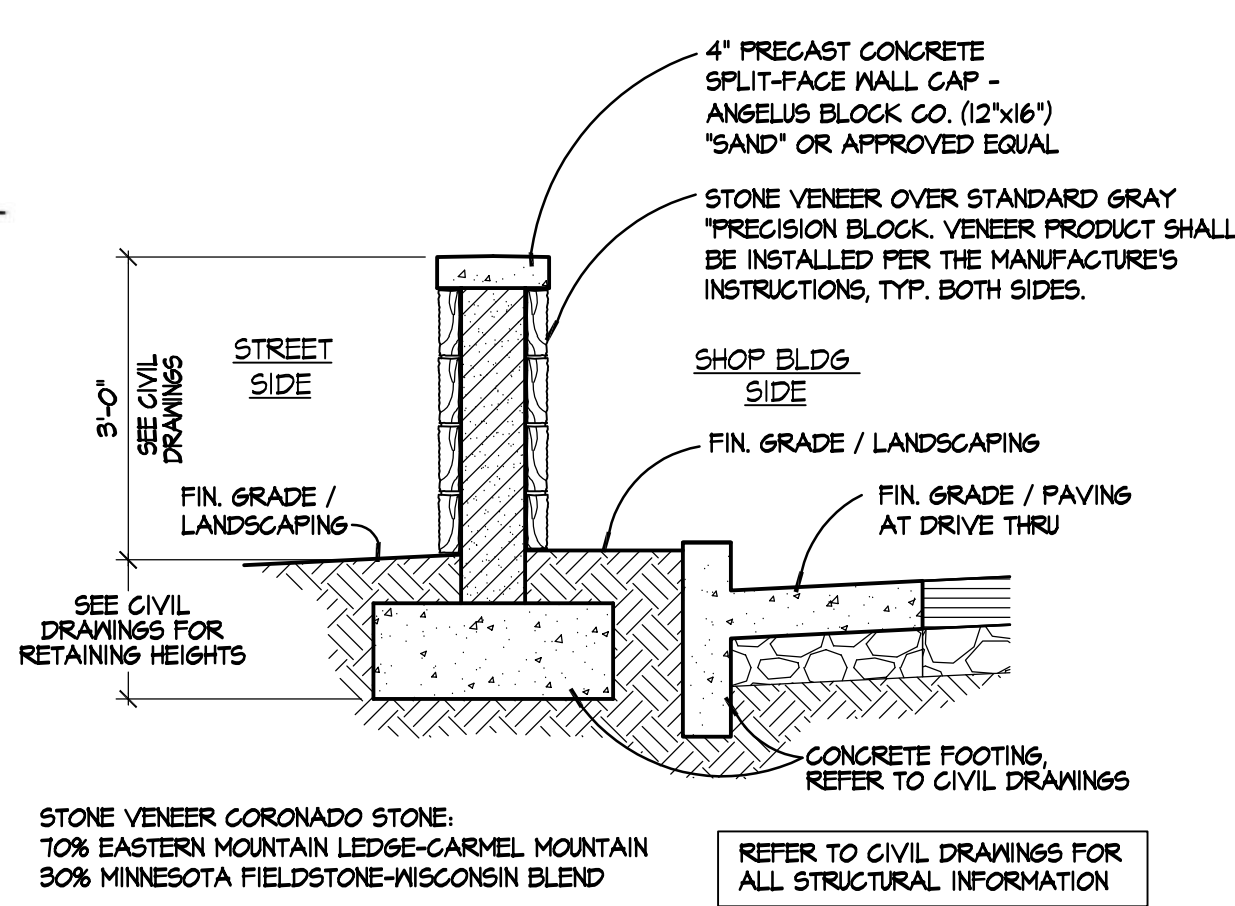
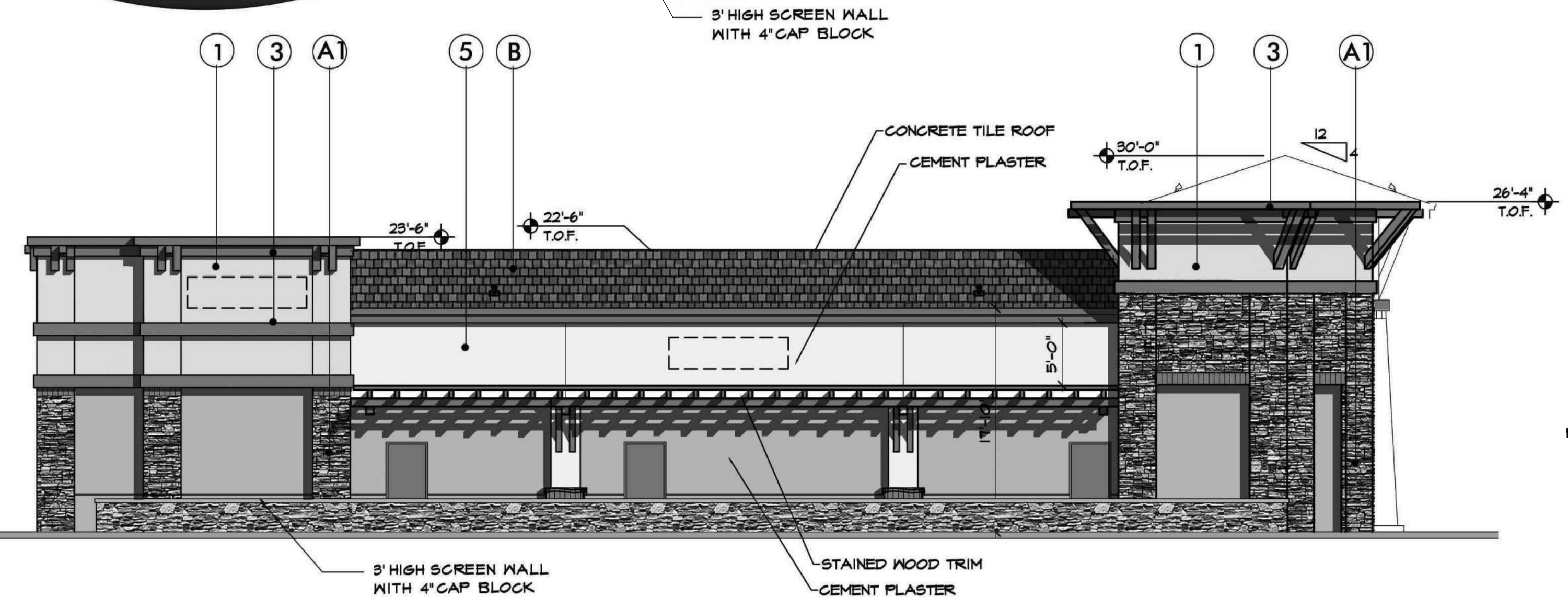
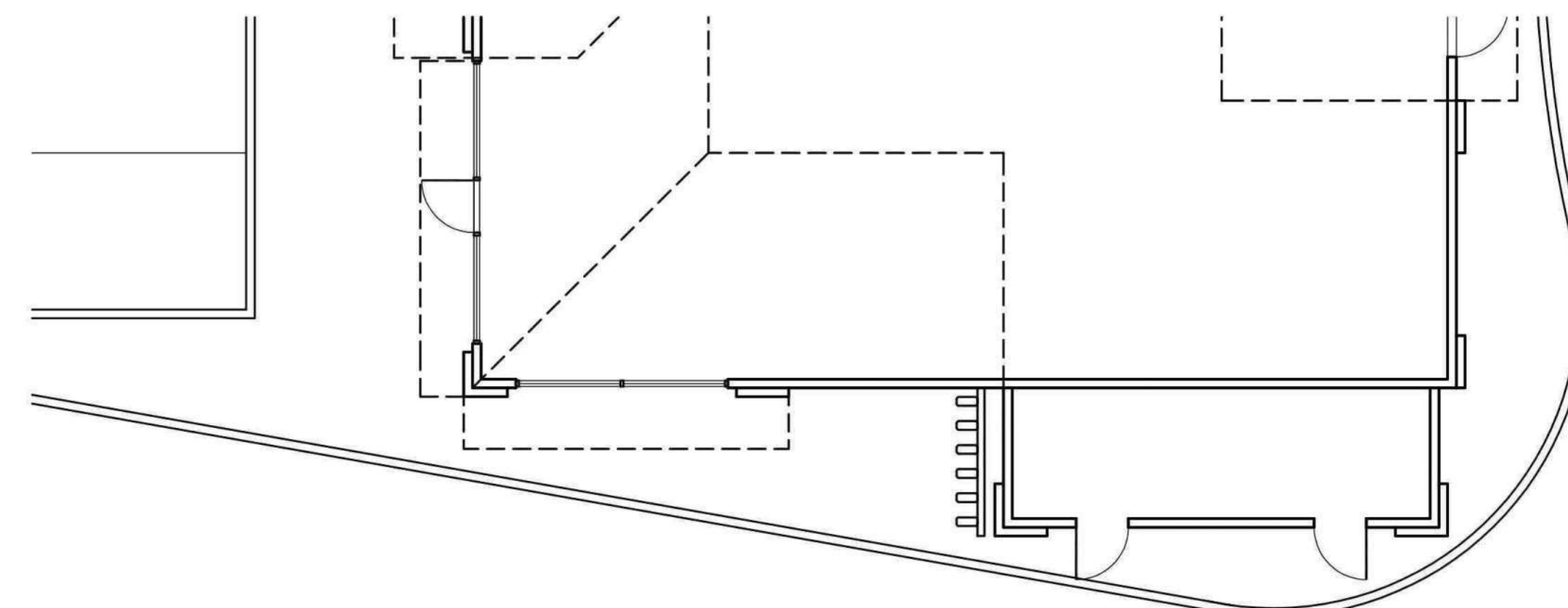
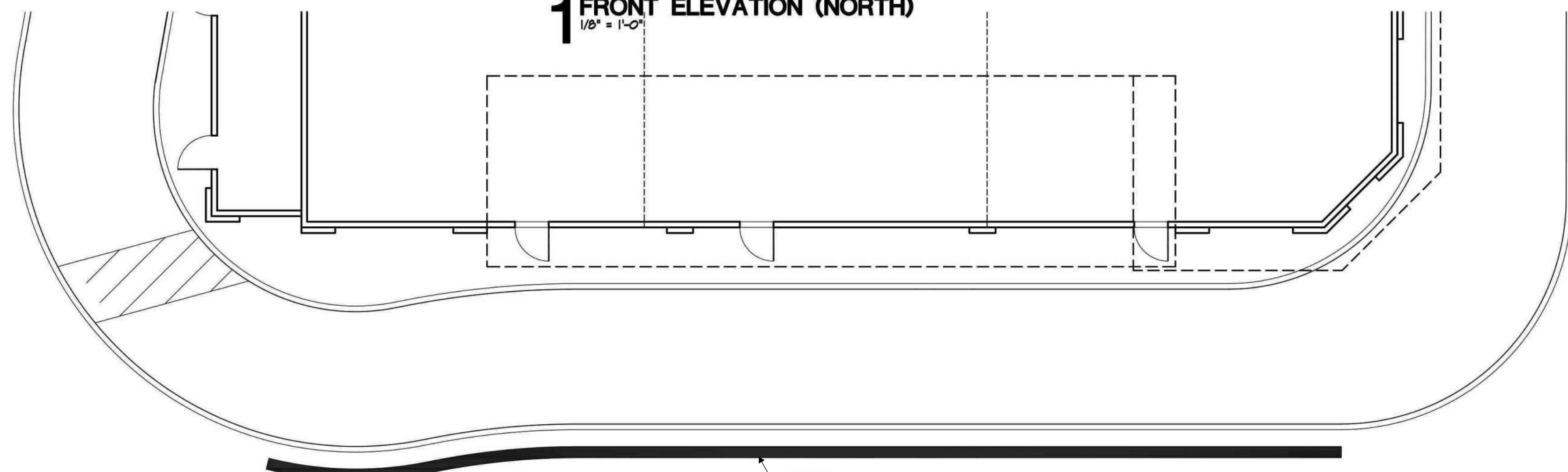
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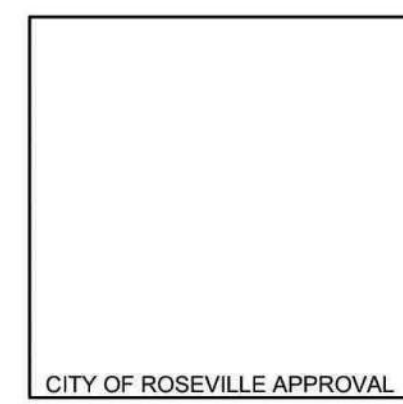
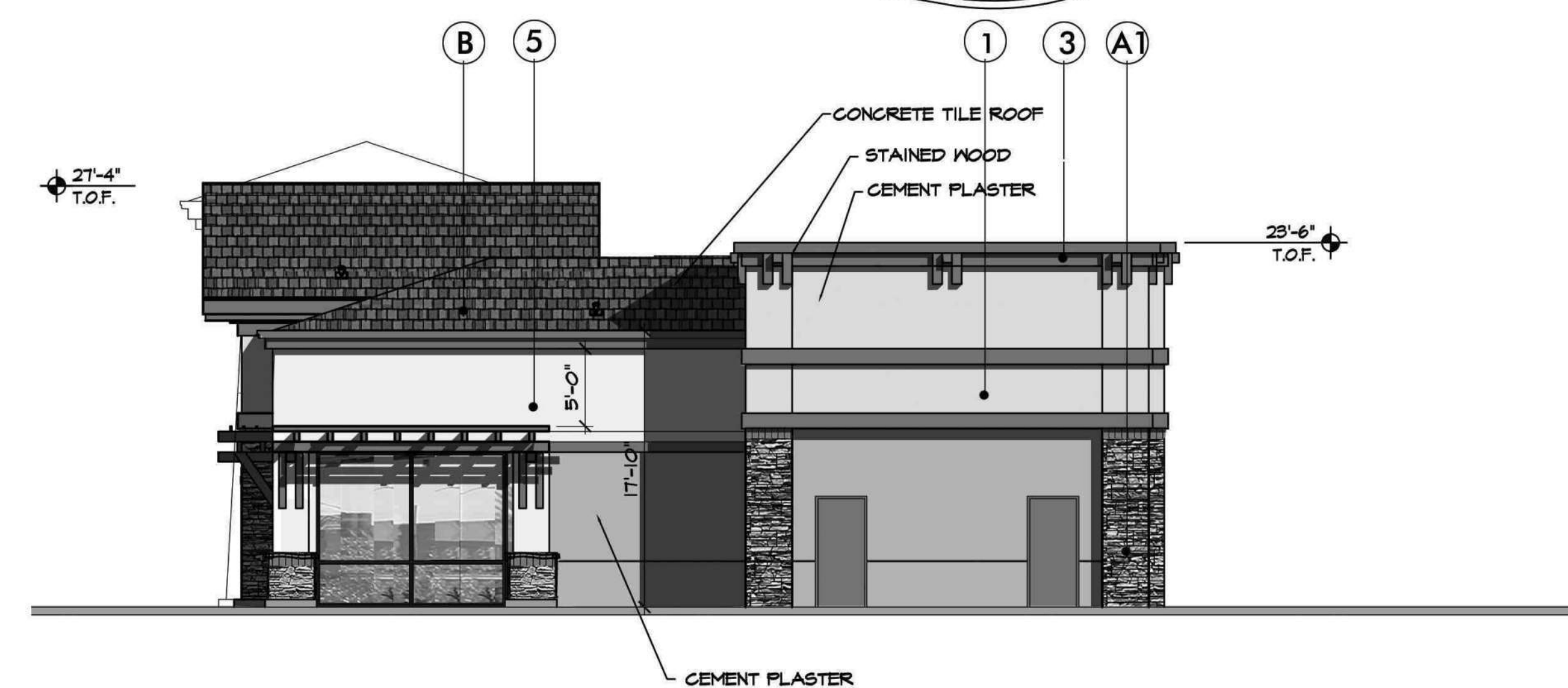
1 FRONT ELEVATION (NORTH)
1/8" = 1'-0"

2 LEFT ELEVATION (EAST)
1/8" = 1'-0"



3 REAR ELEVATION (SOUTH)
1/8" = 1'-0"

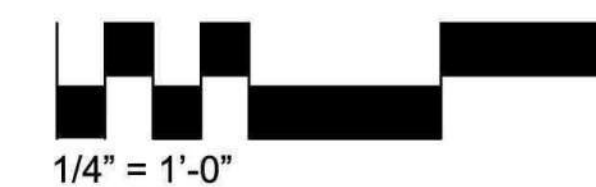
4 RIGHT ELEVATION (WEST)
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ELEVATIONS : PAD B
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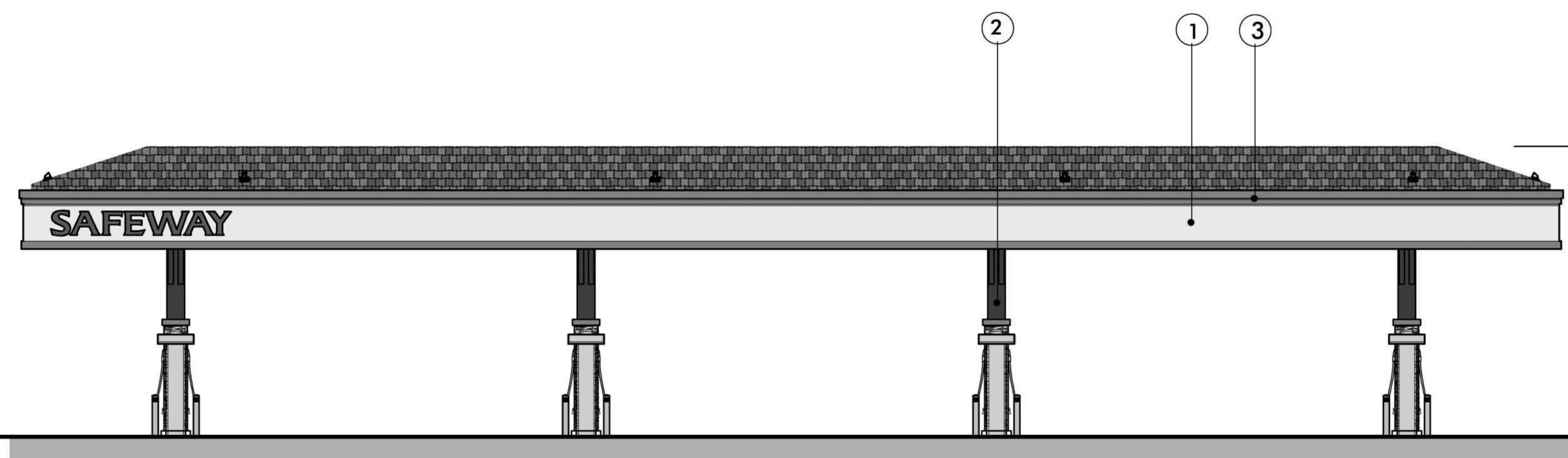
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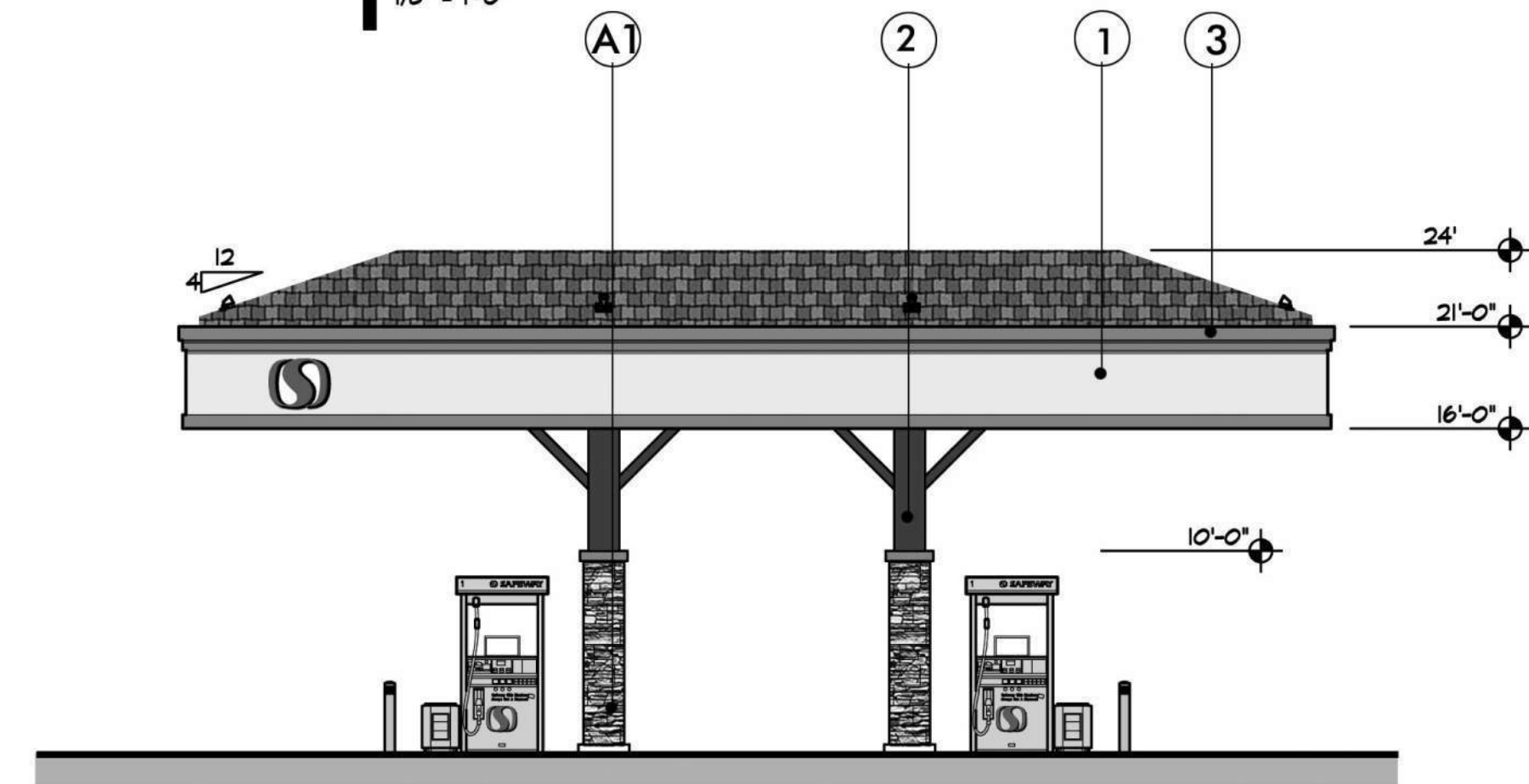


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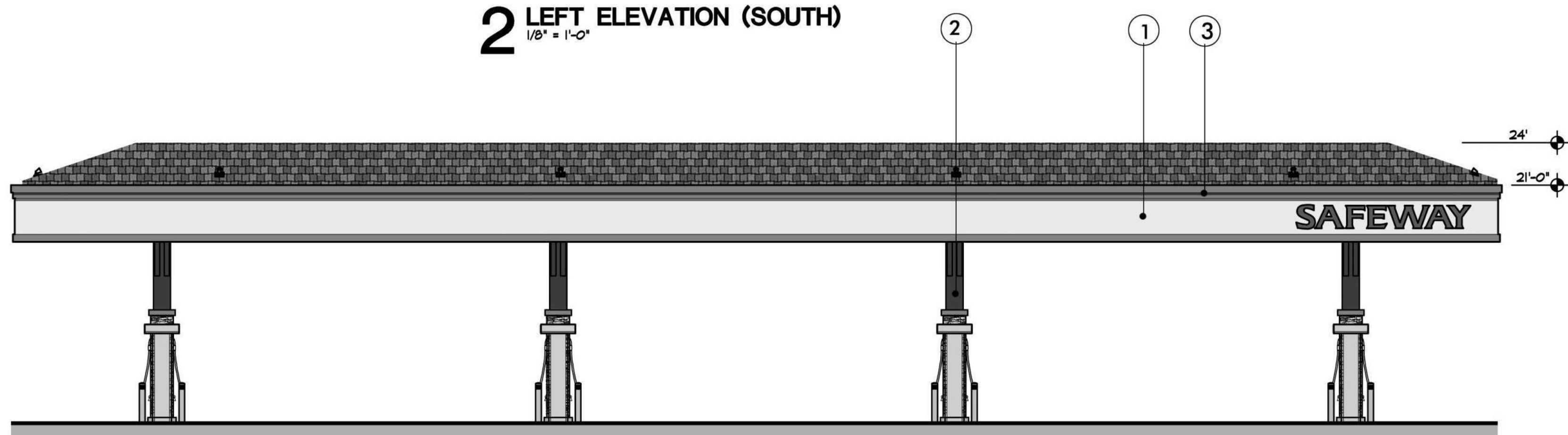
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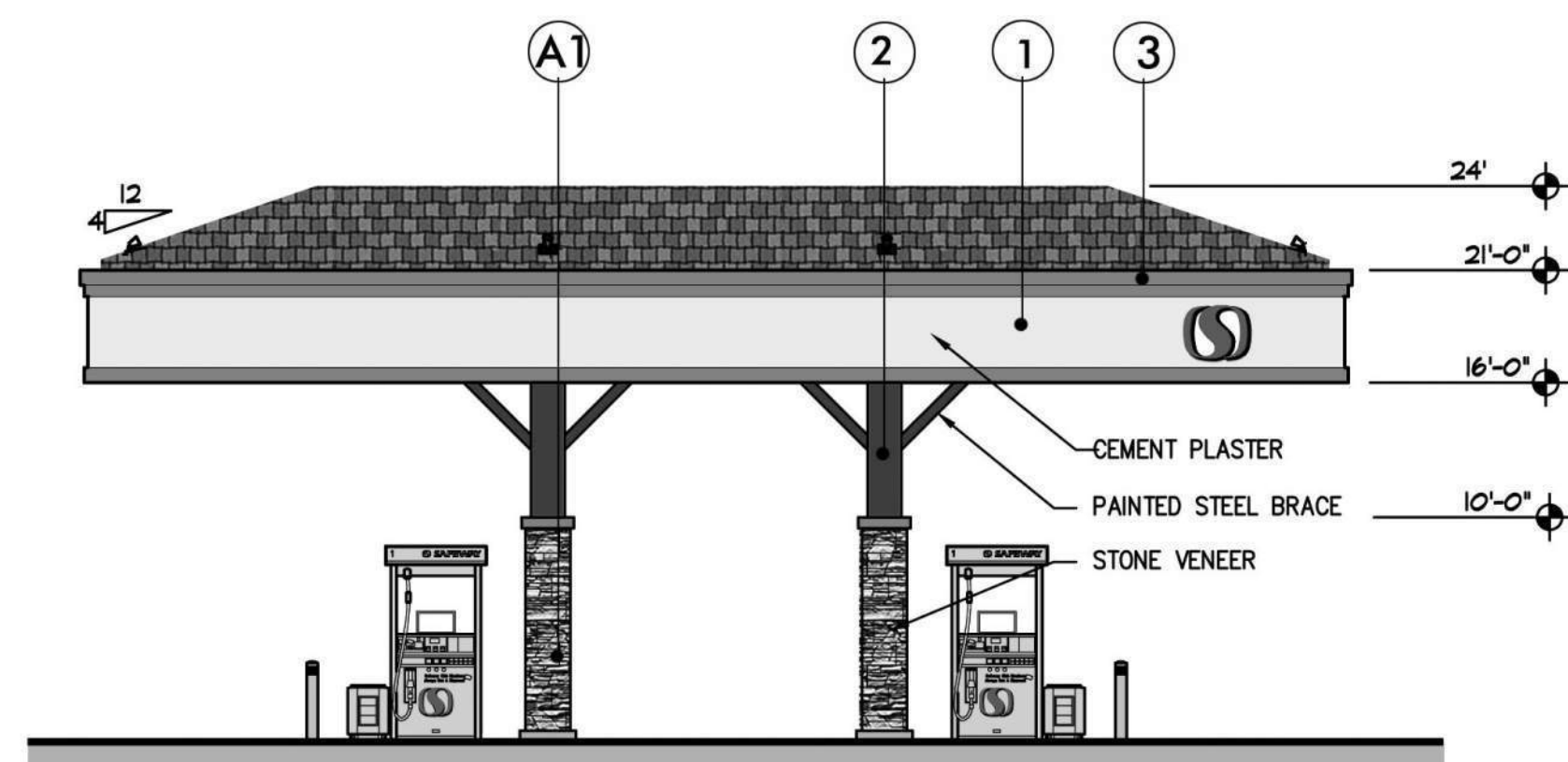
1 FRONT ELEVATION (EAST)
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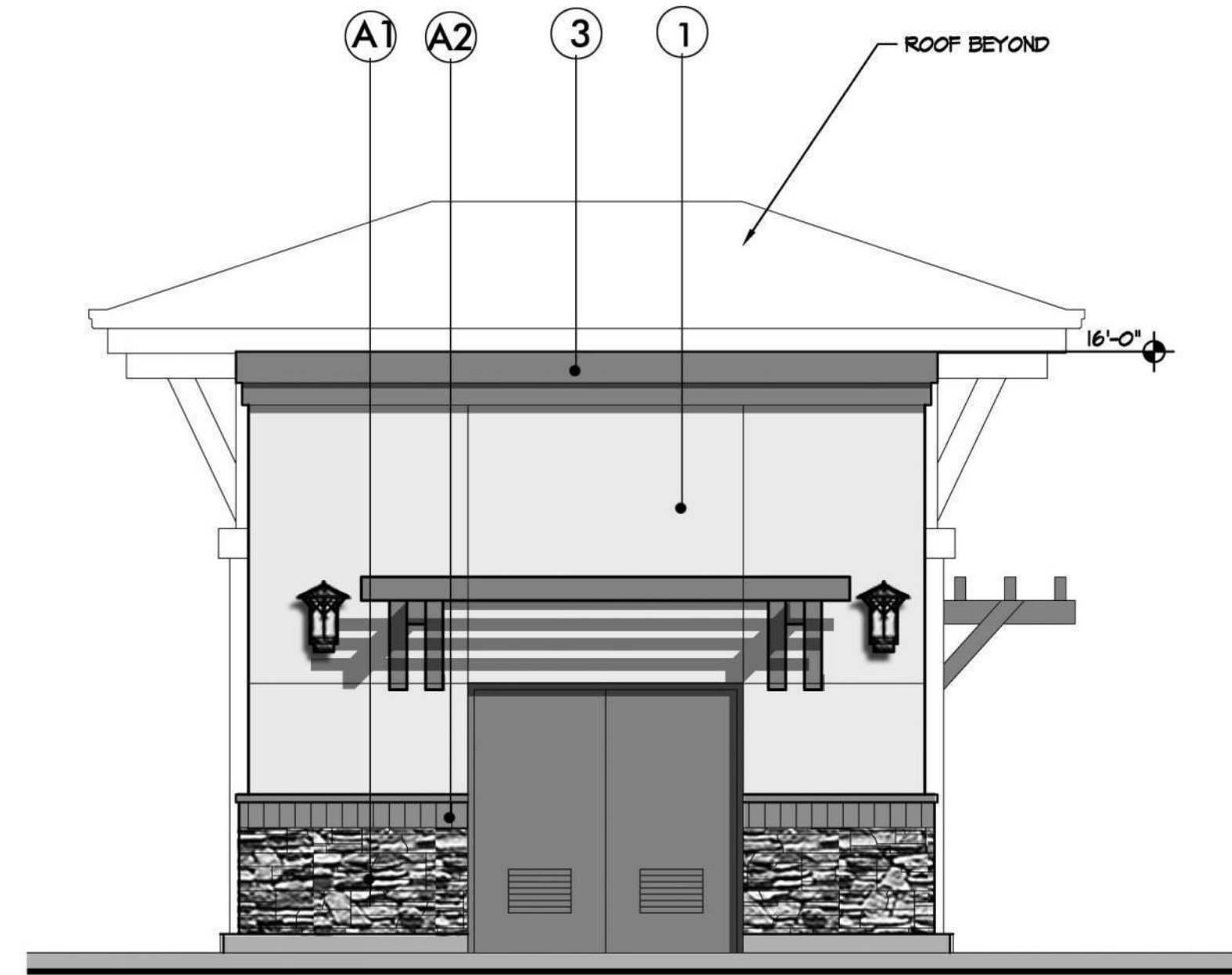
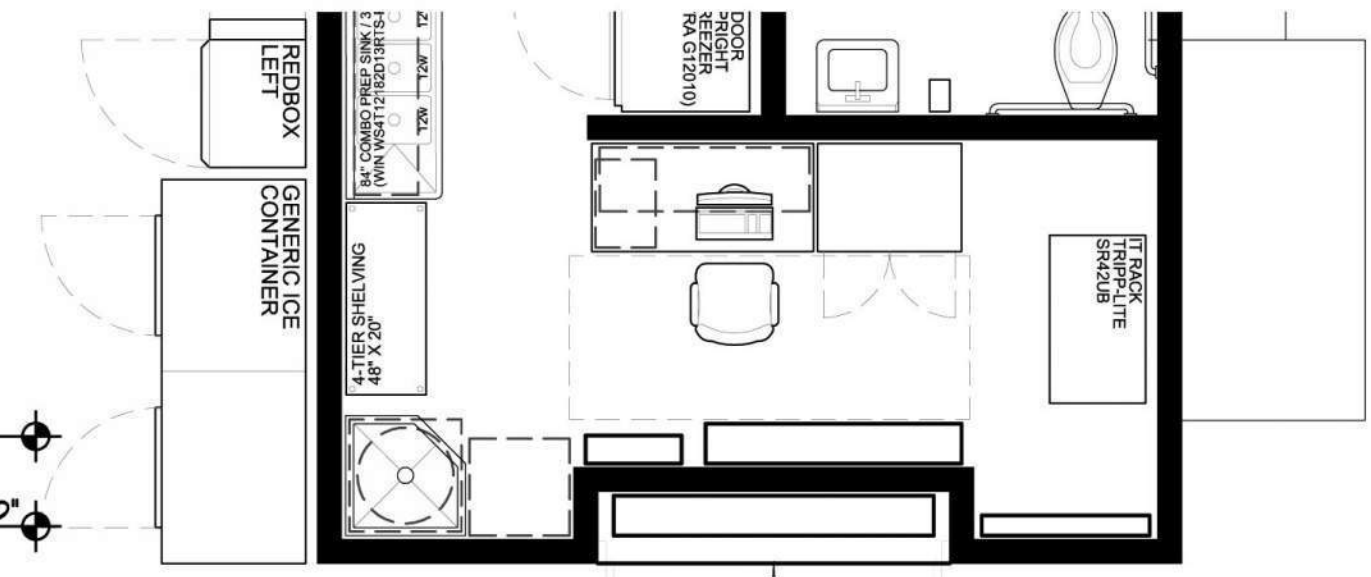
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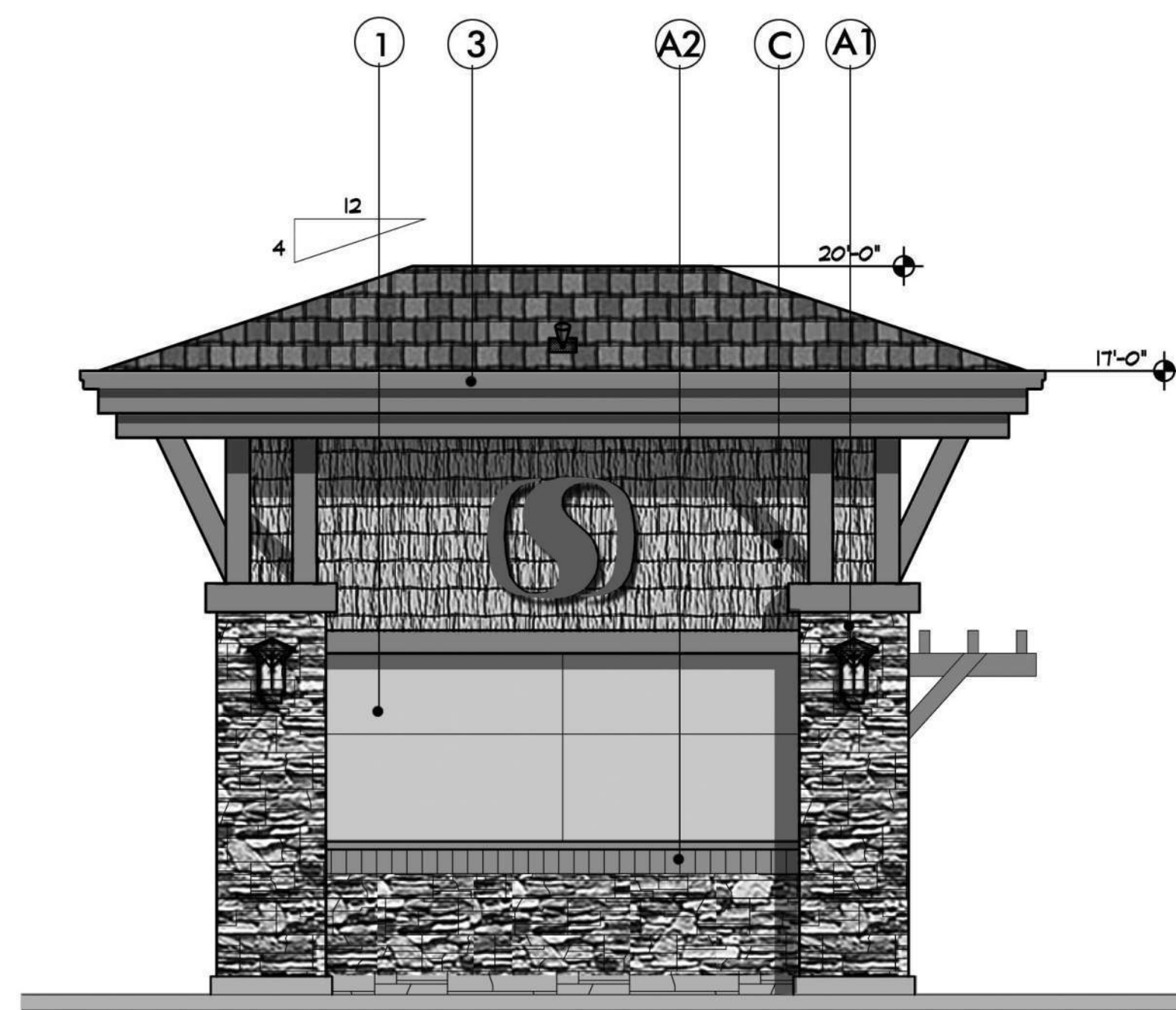
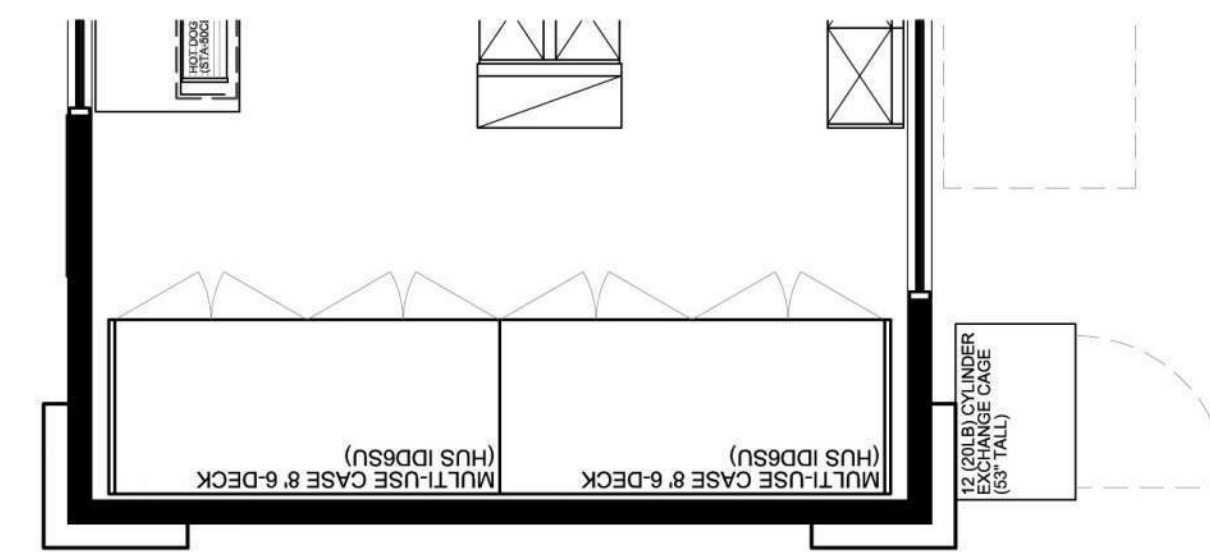
3 REAR ELEVATION (WEST)
1/8" = 1'-0"



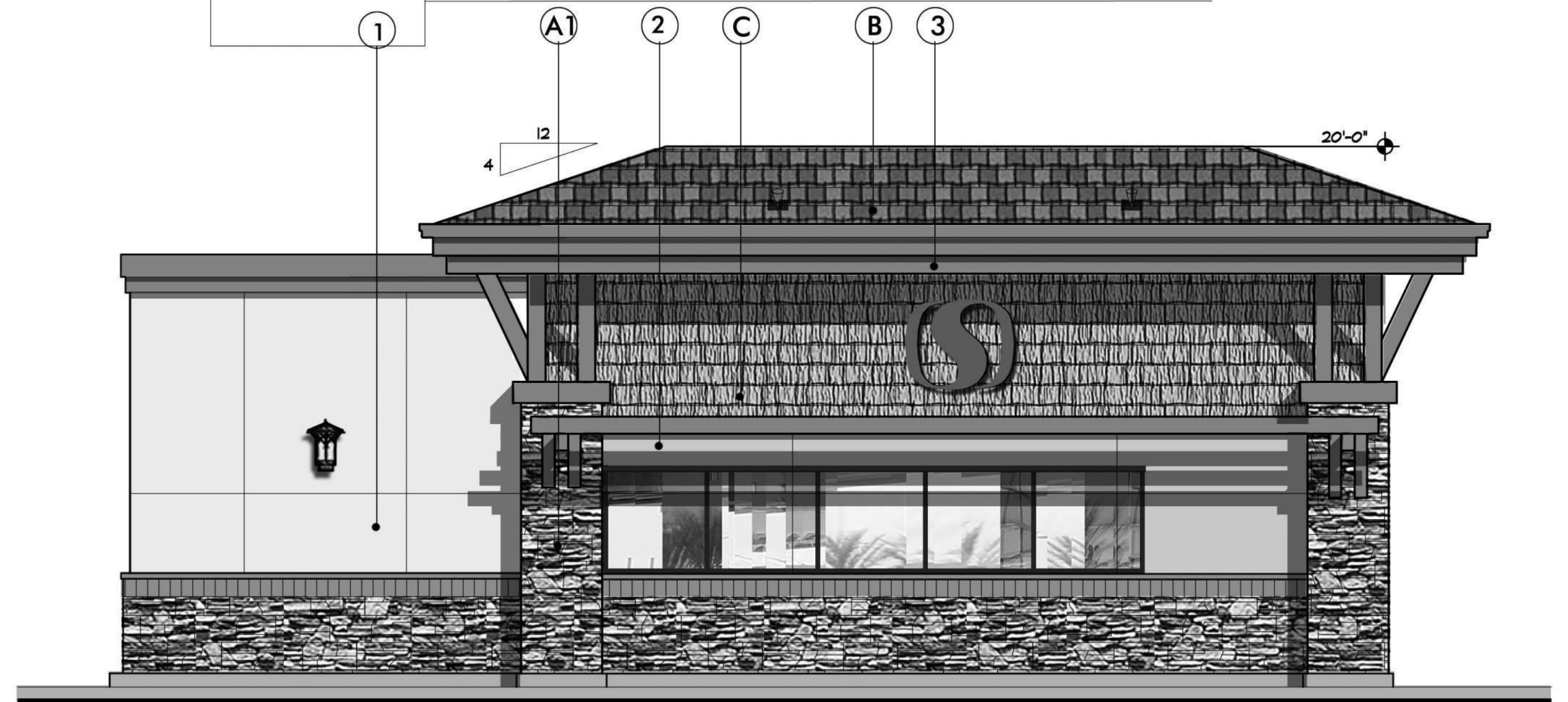
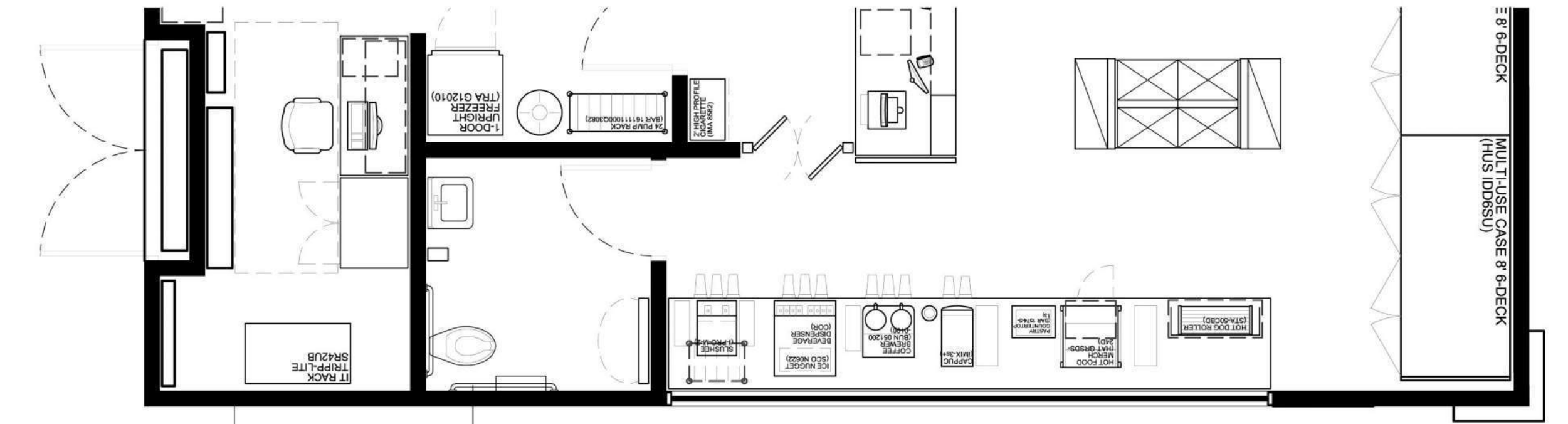
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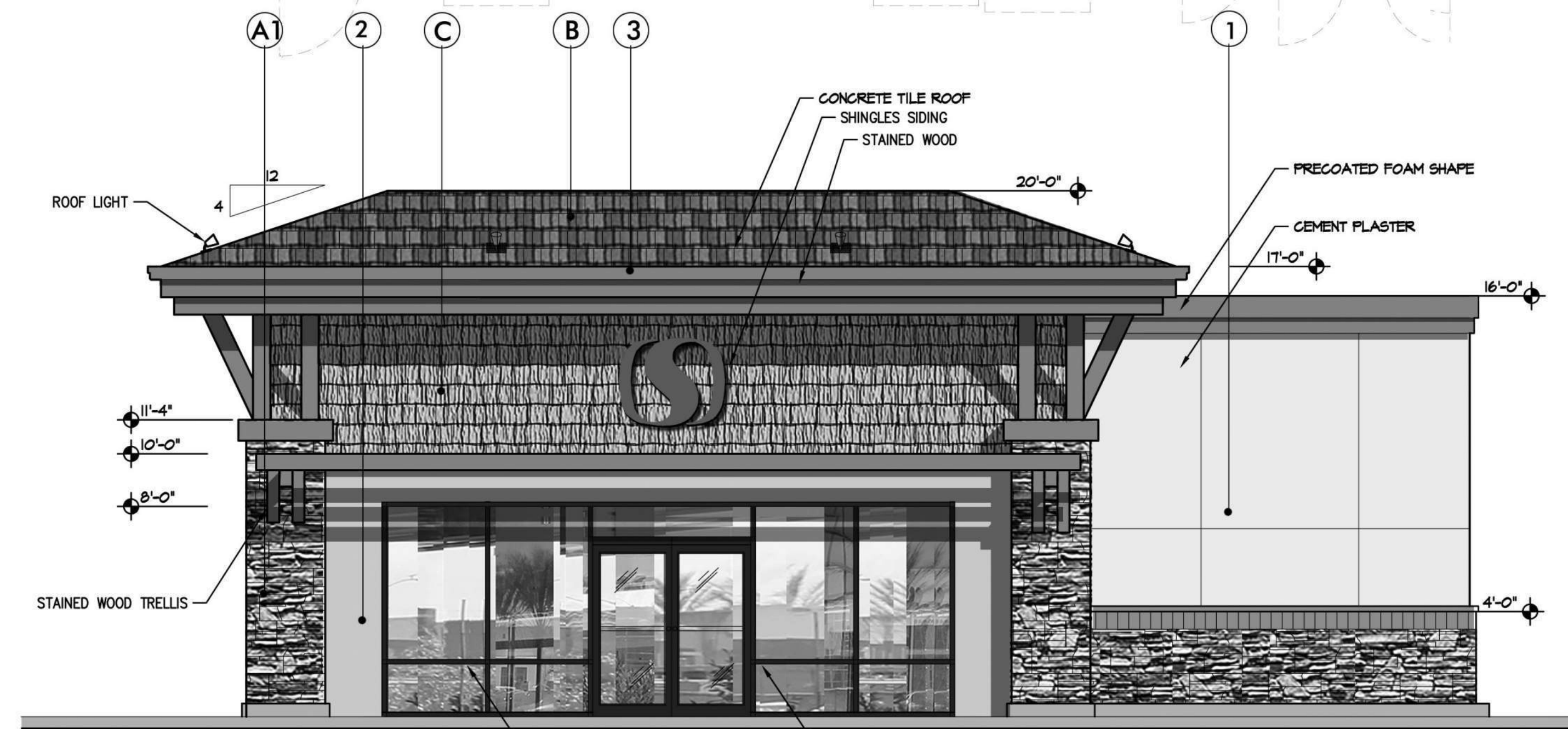
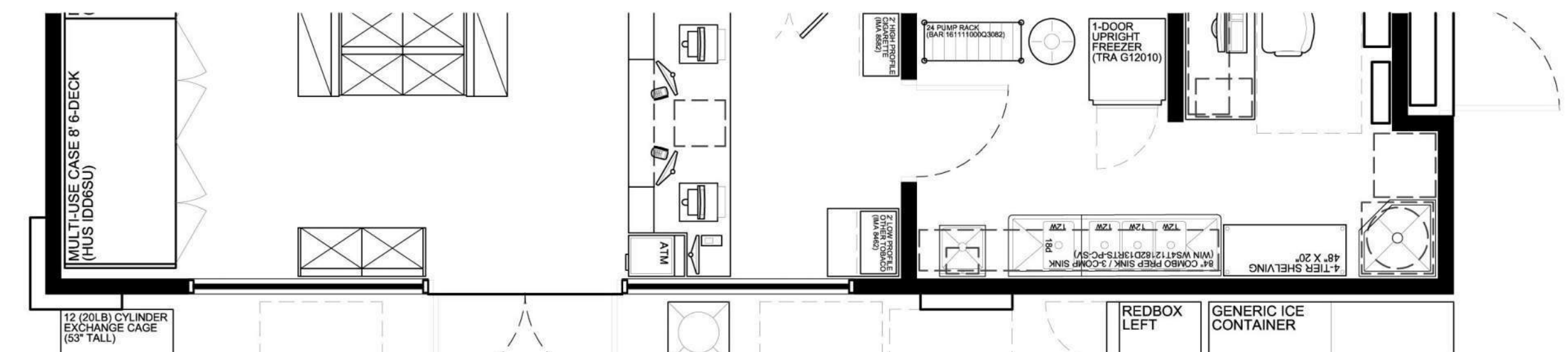
5 RIGHT ELEVATION (NORTH)
1/4" = 1'-0"



7 LEFT ELEVATION (SOUTH)
1/4" = 1'-0"



6 REAR ELEVATION (WEST)
1/4" = 1'-0"



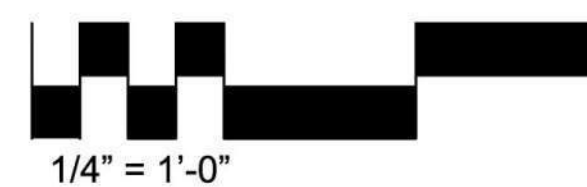
8 FRONT ELEVATION (EAST)
1/4" = 1'-0"

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ELEVATIONS : FUEL CENTER
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ROSEVILLE, CA

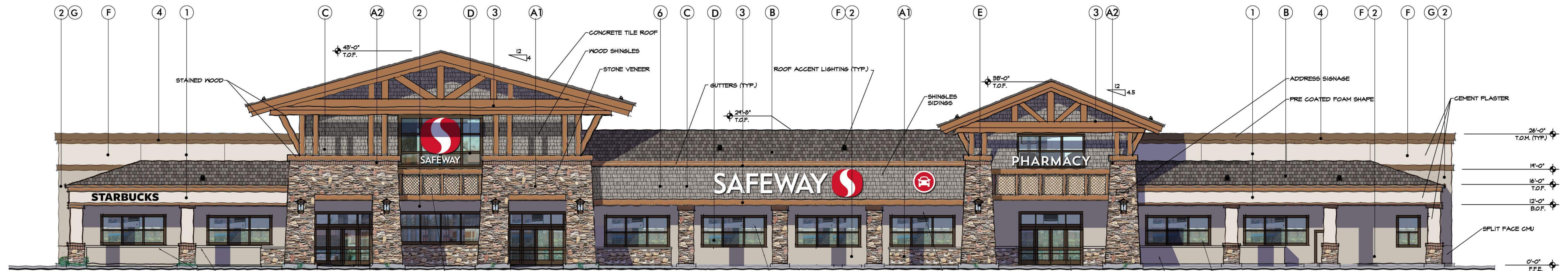
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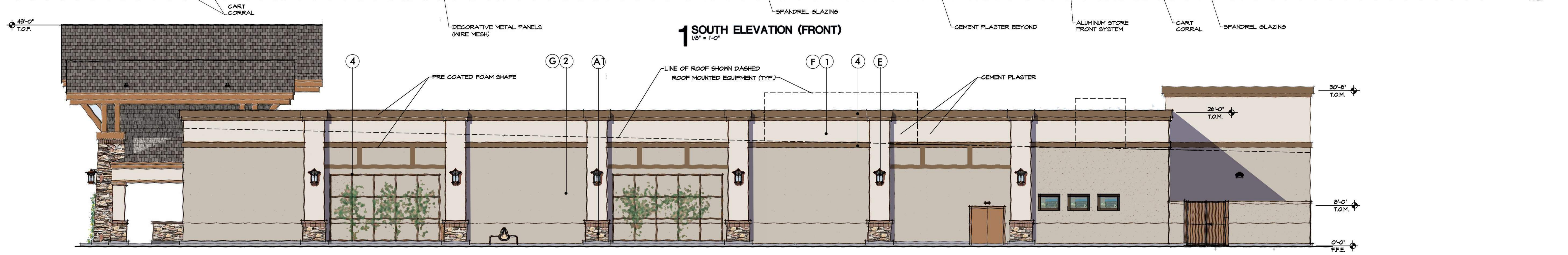


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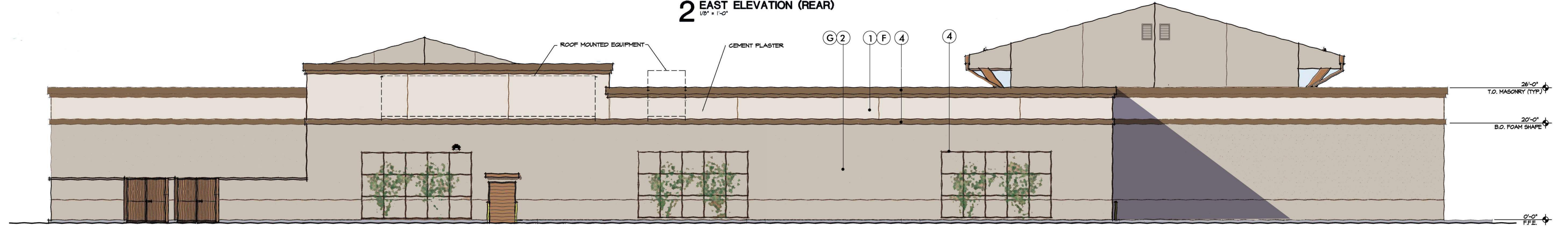
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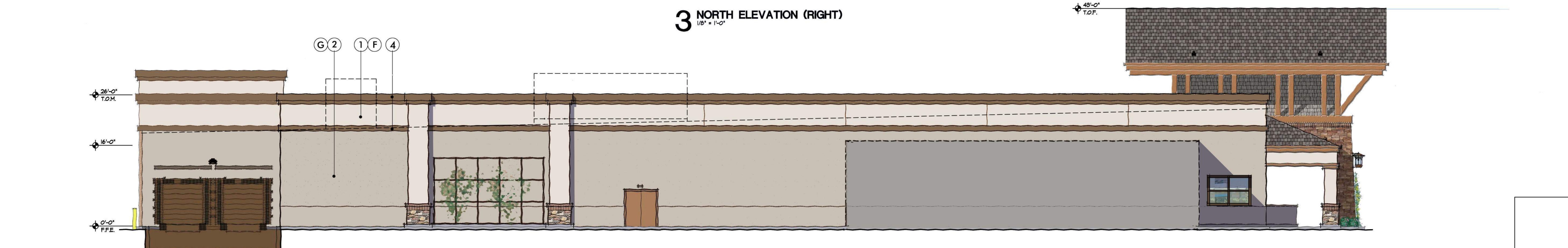
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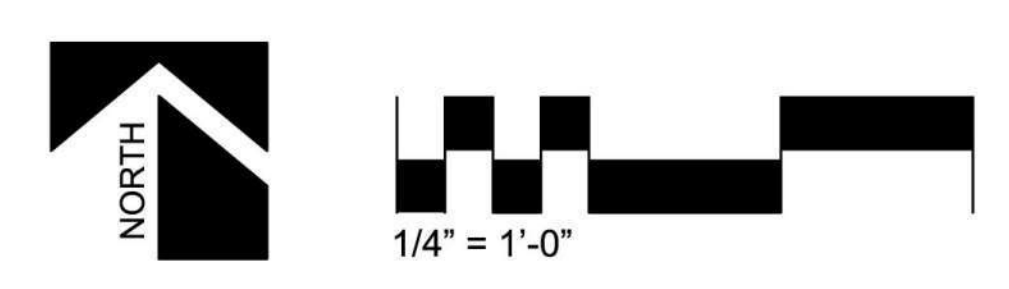
4 WEST ELEVATION (LEFT)
1/8" = 1'-0"

CITY OF ROSEVILLE APPROVAL

ELEVATIONS : MAJOR A
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ROSEVILLE, CA

SHEET C2.2A

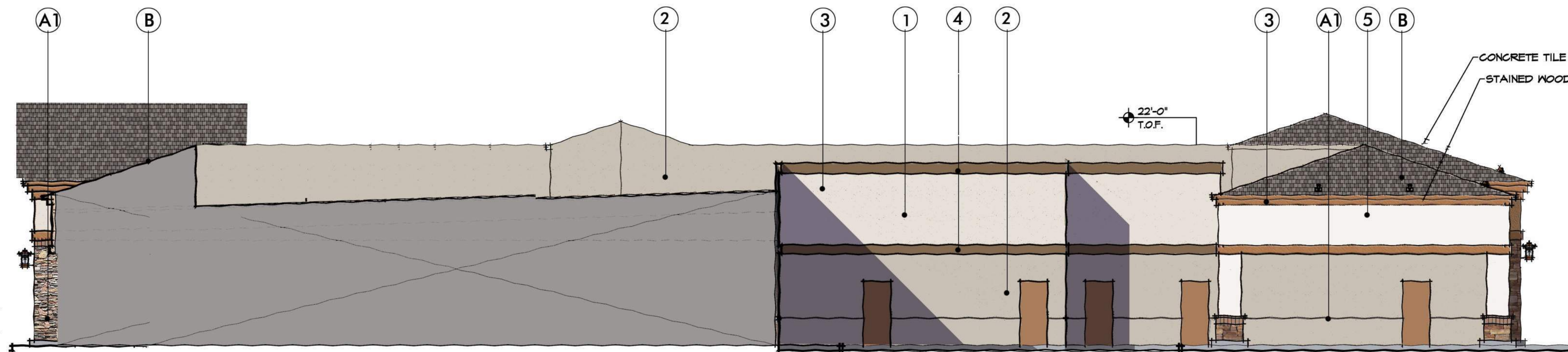
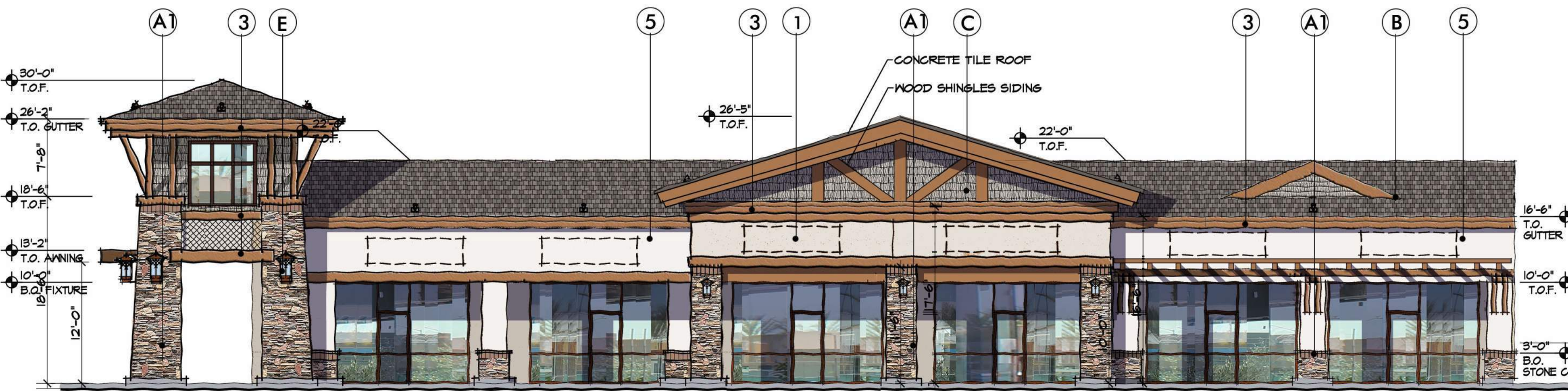
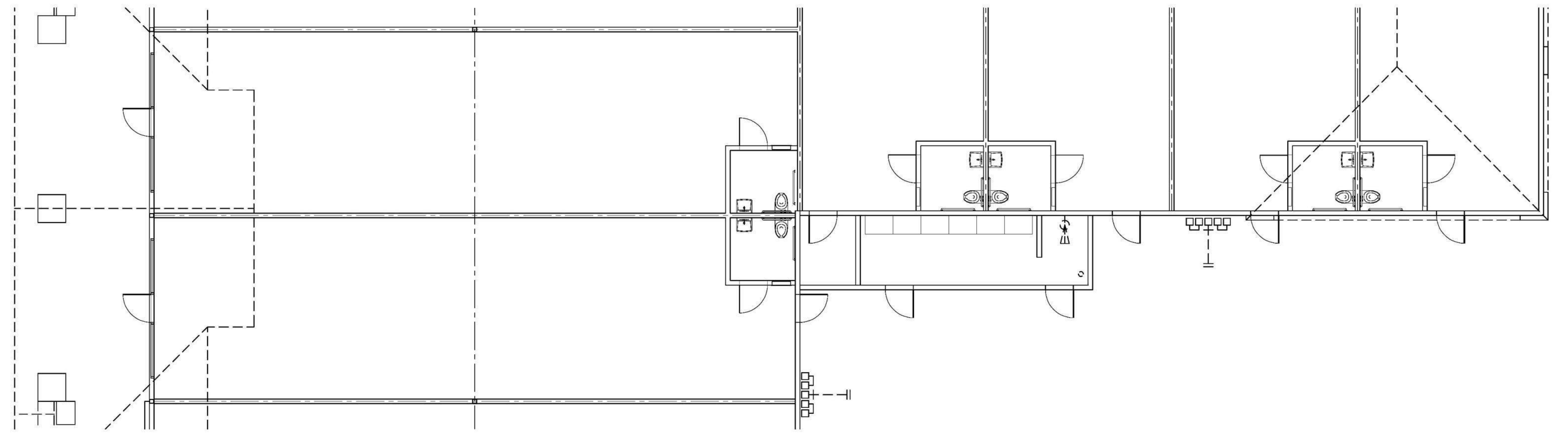
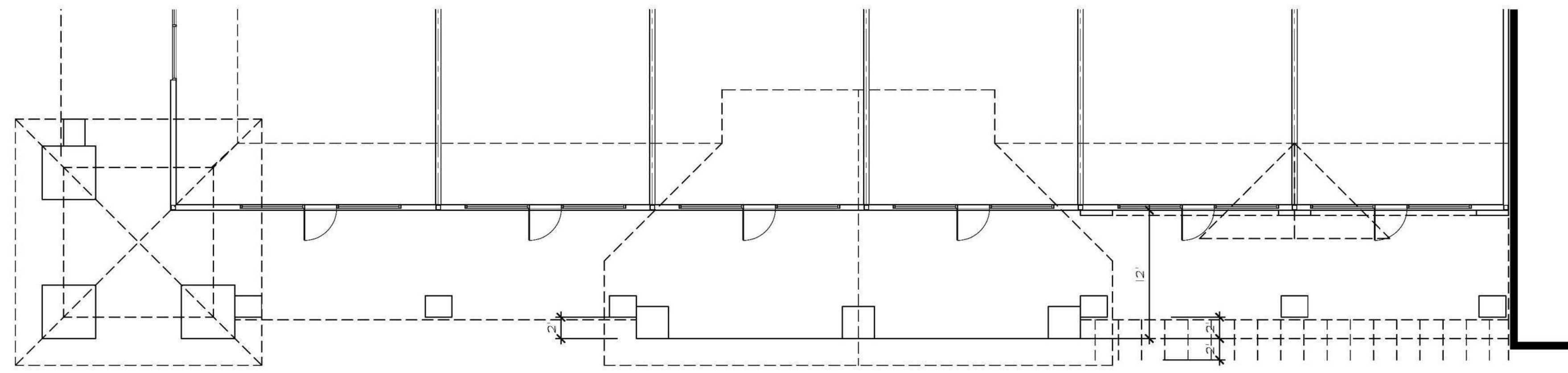
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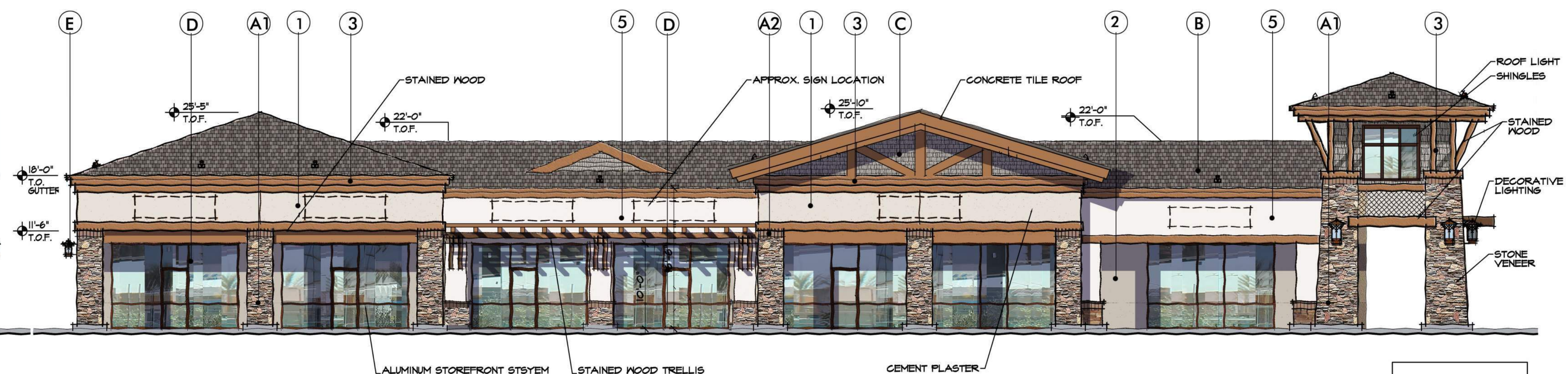
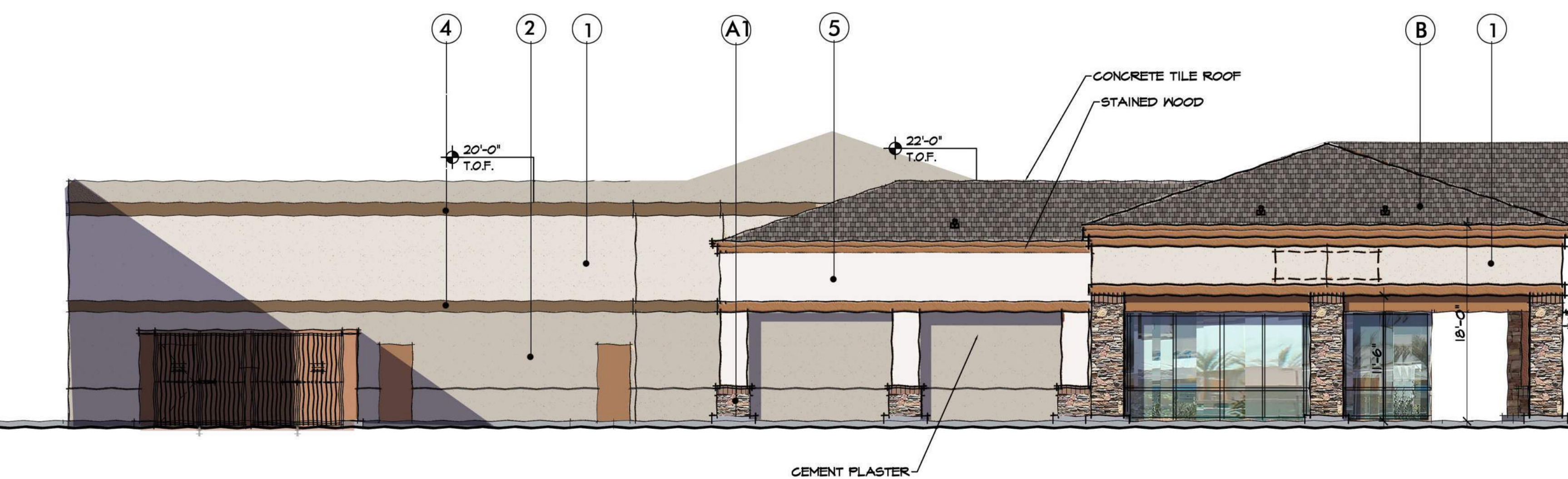
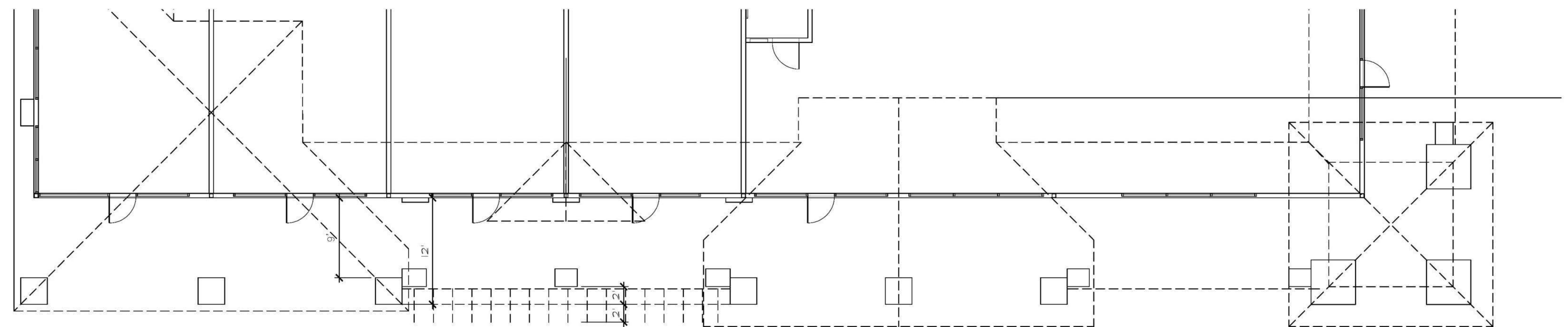
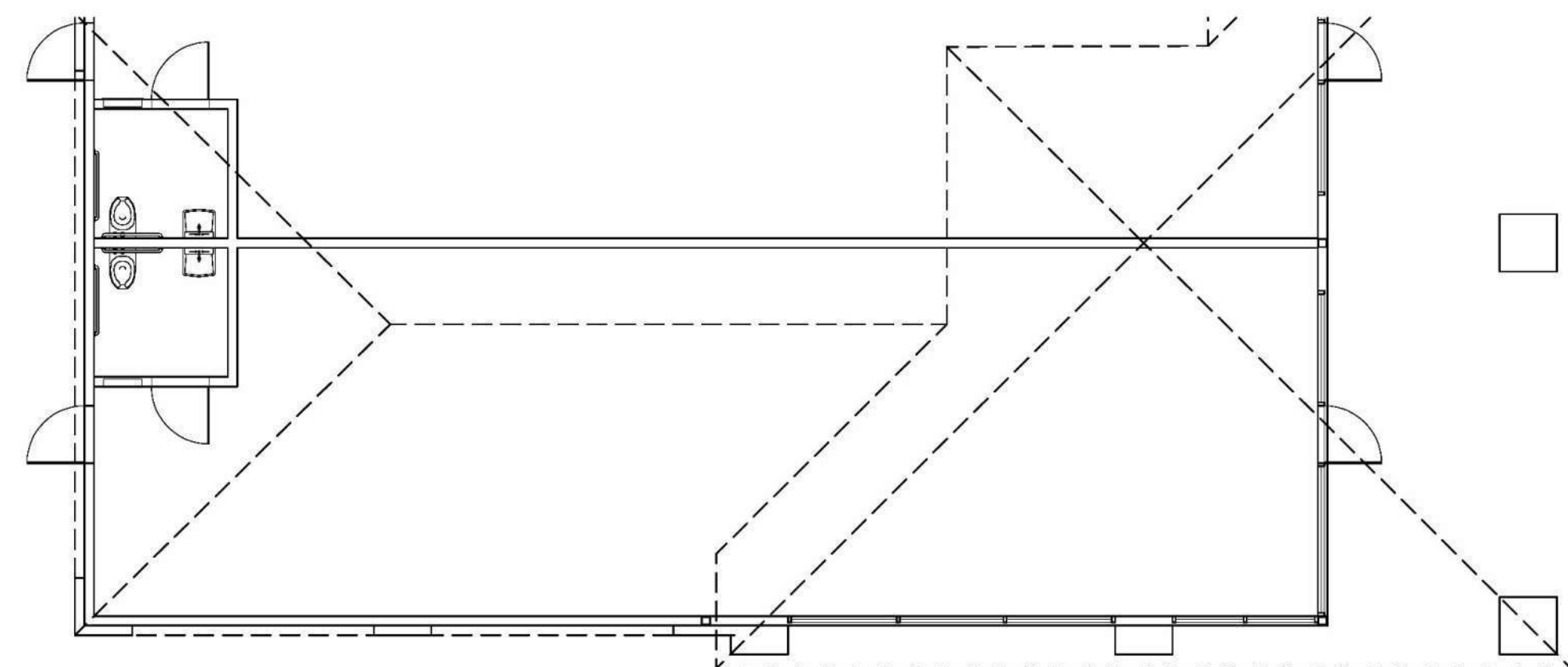


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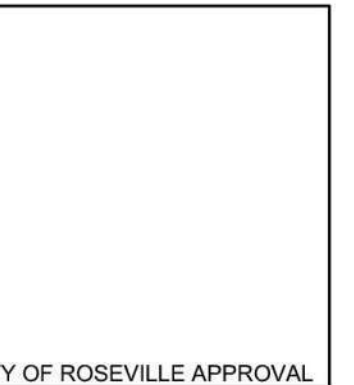
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ELEVATIONS : SHOPS 1
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ROSEVILLE, CA

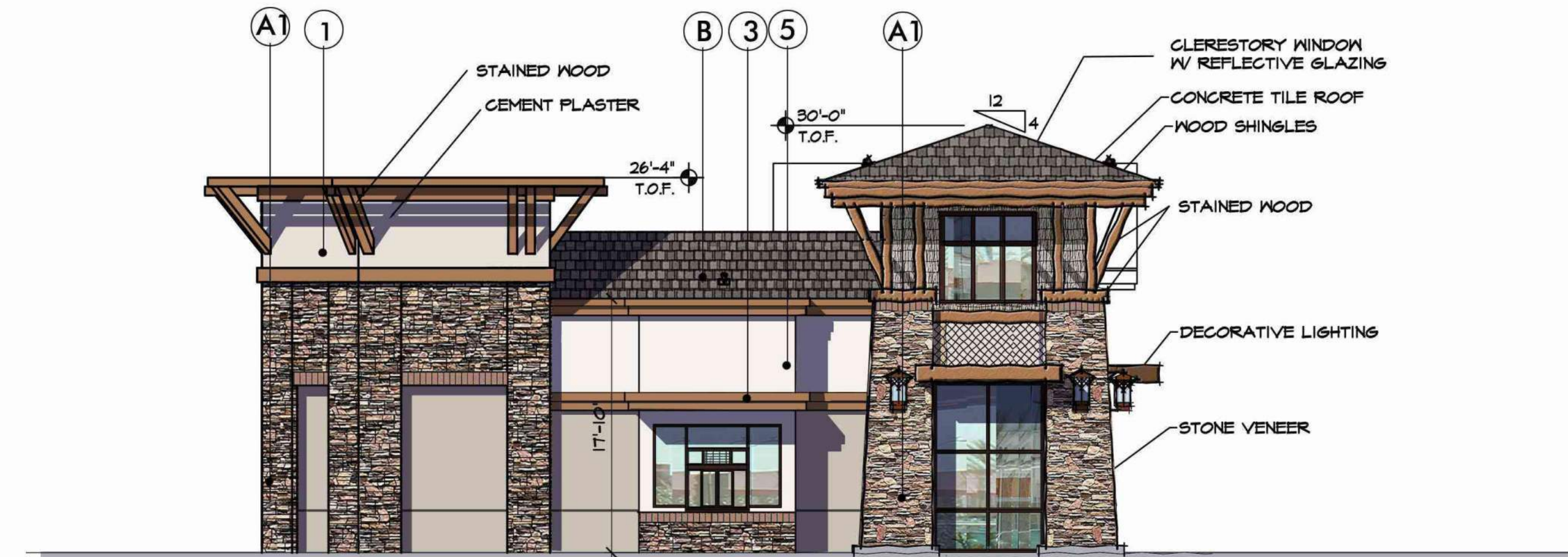
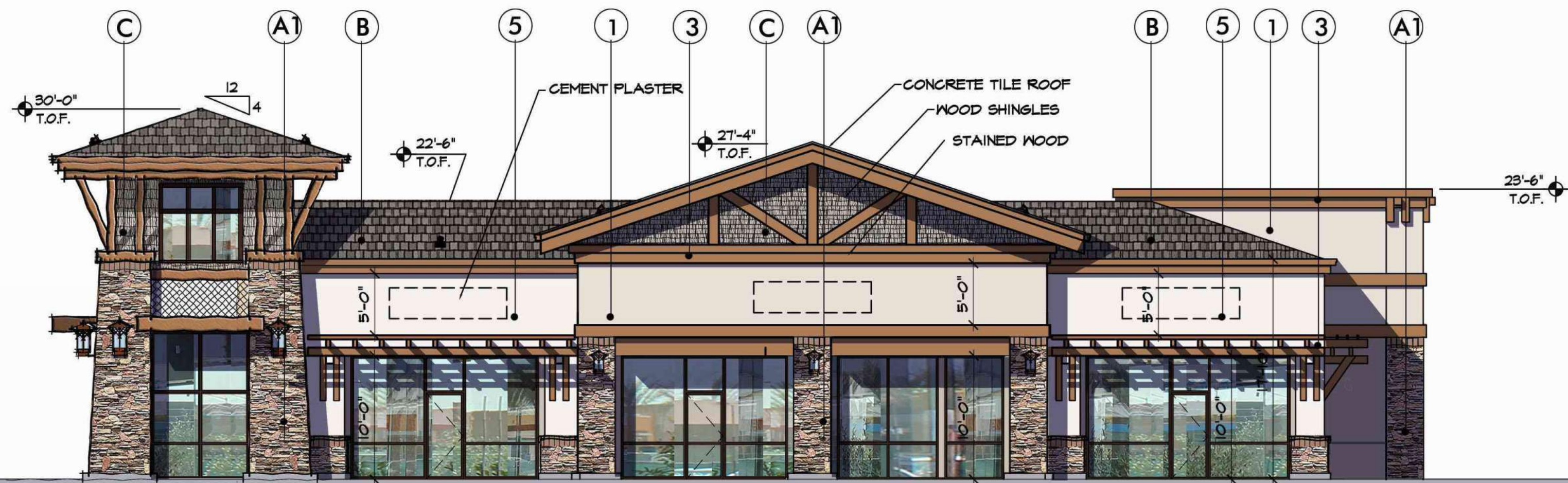
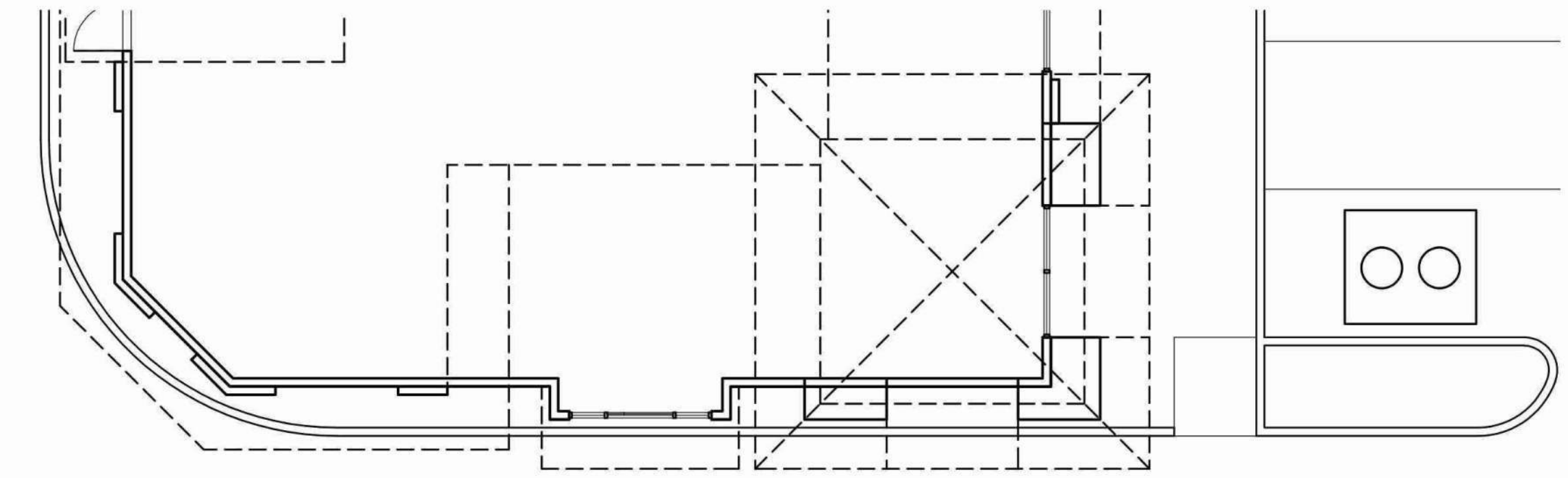
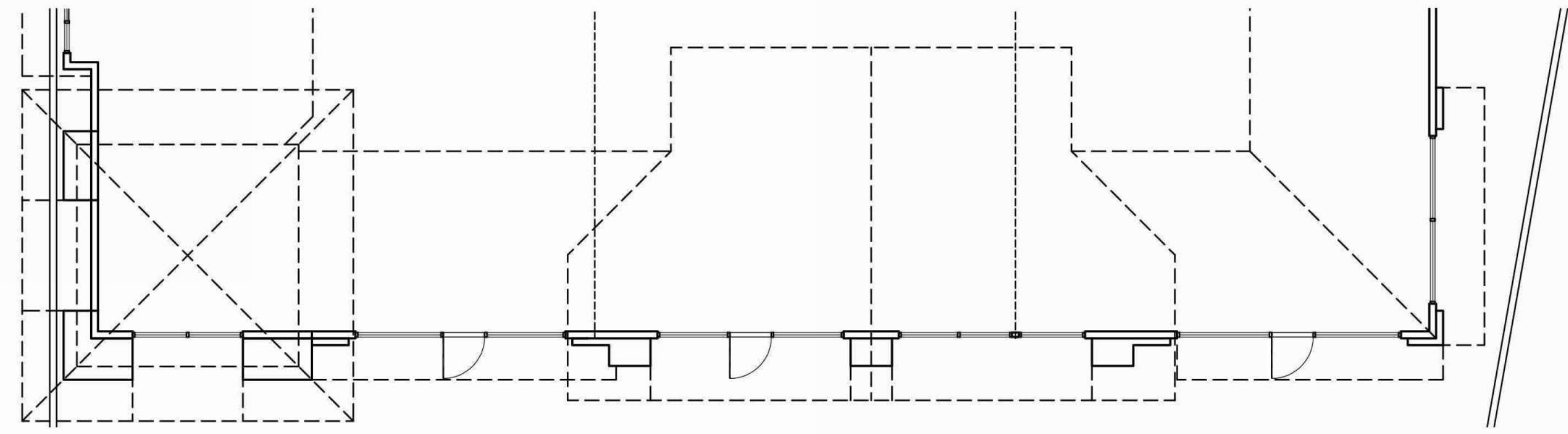
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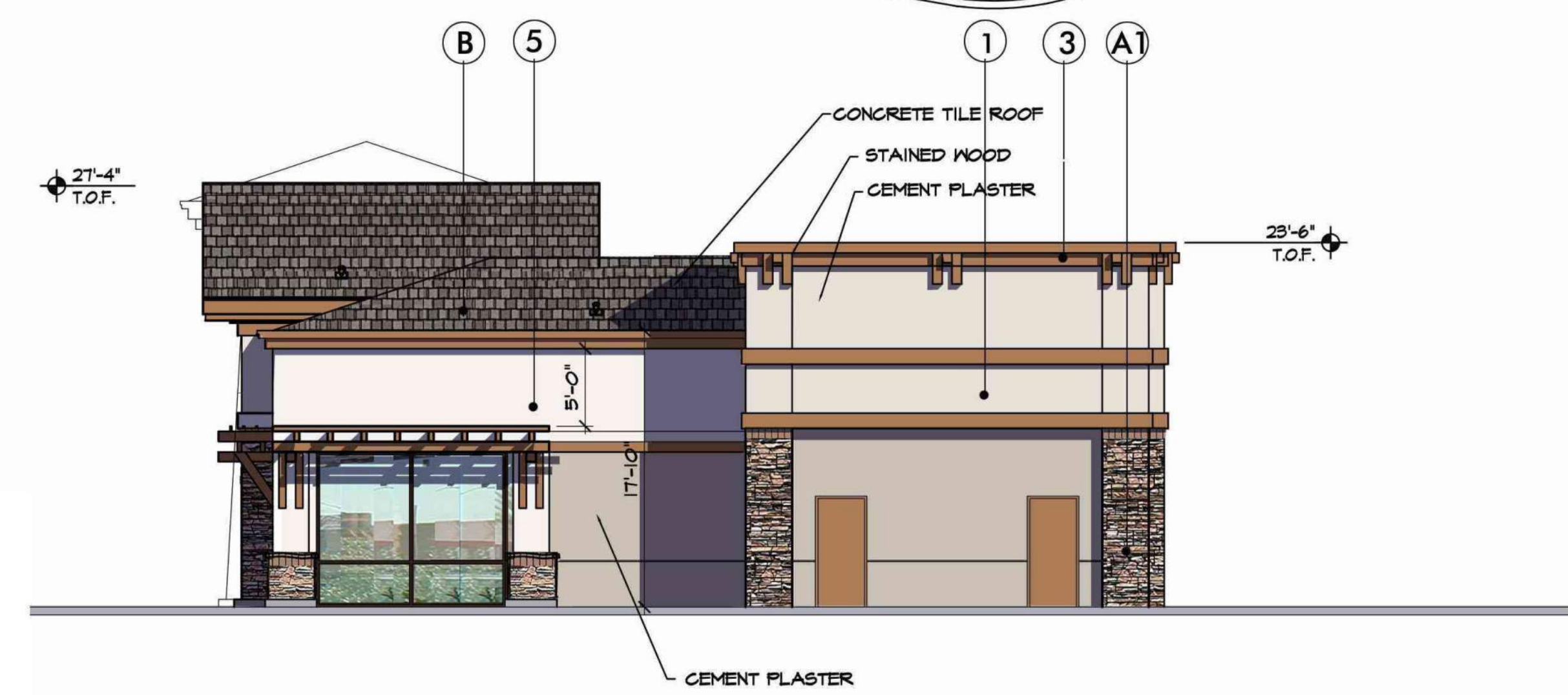
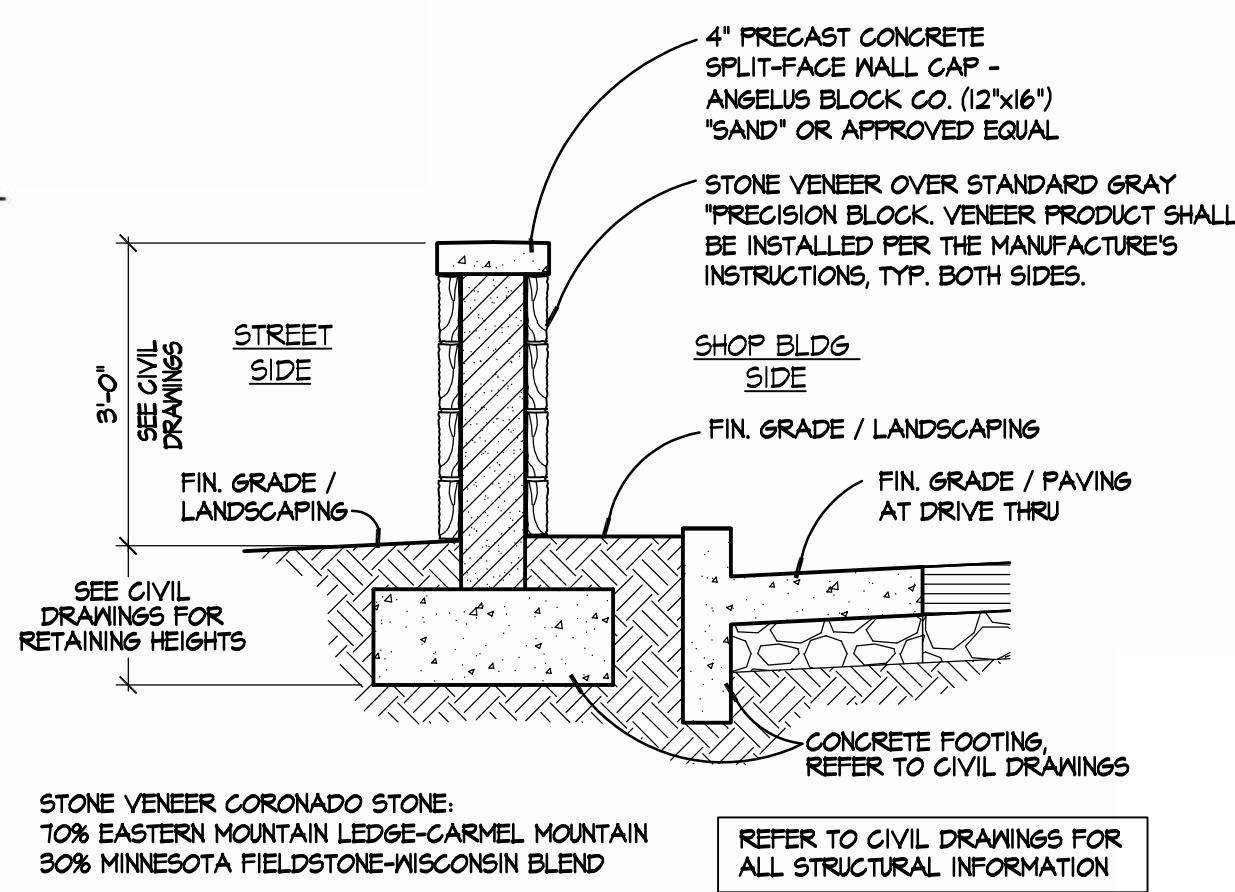
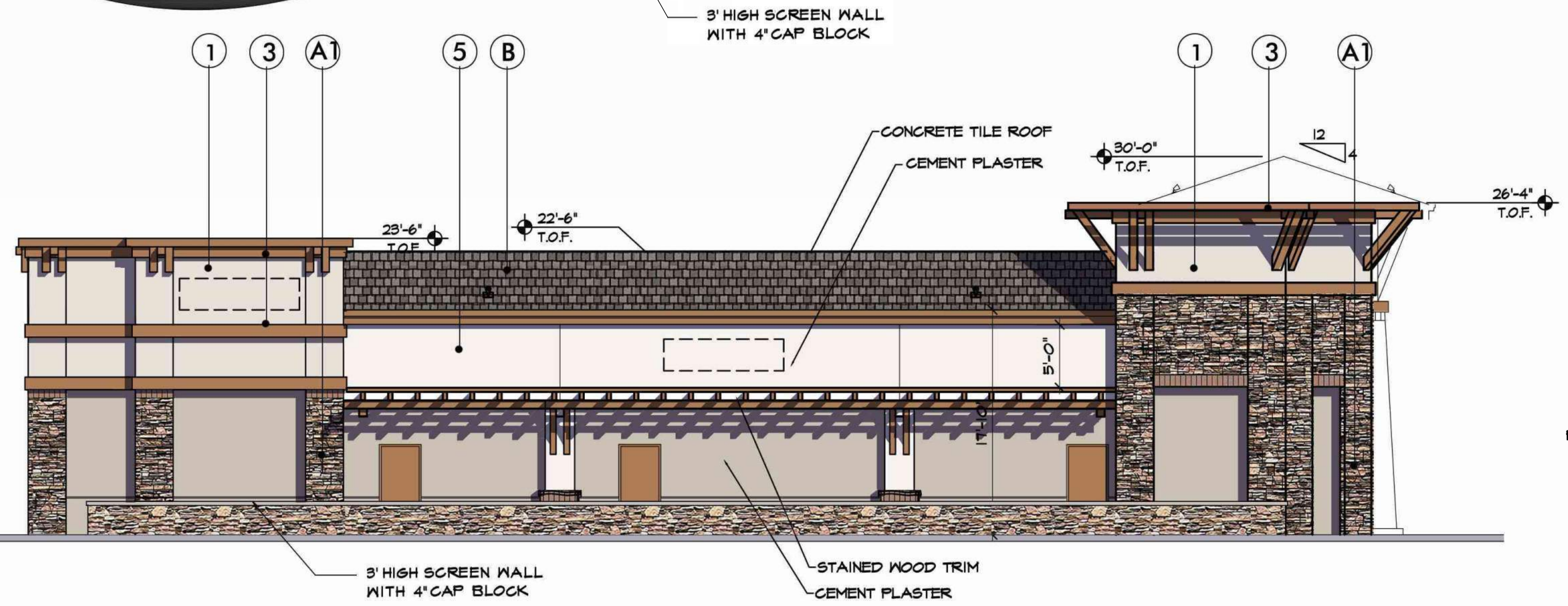
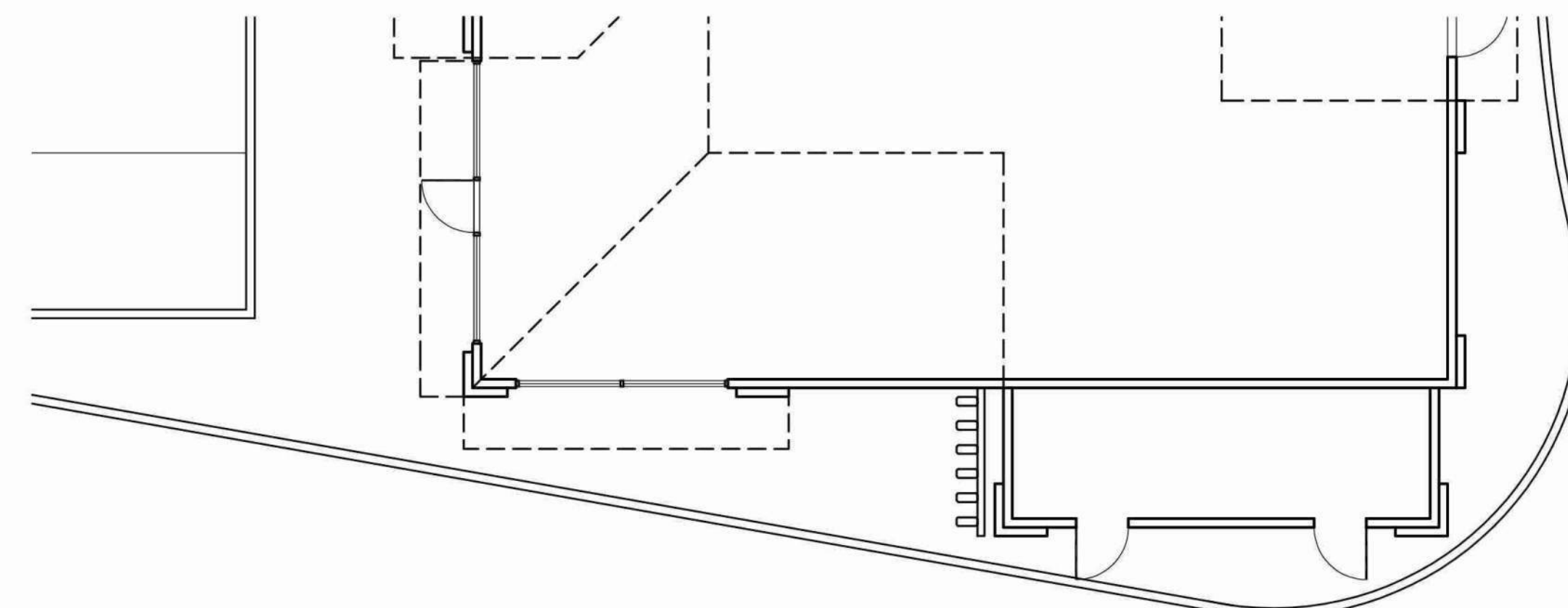
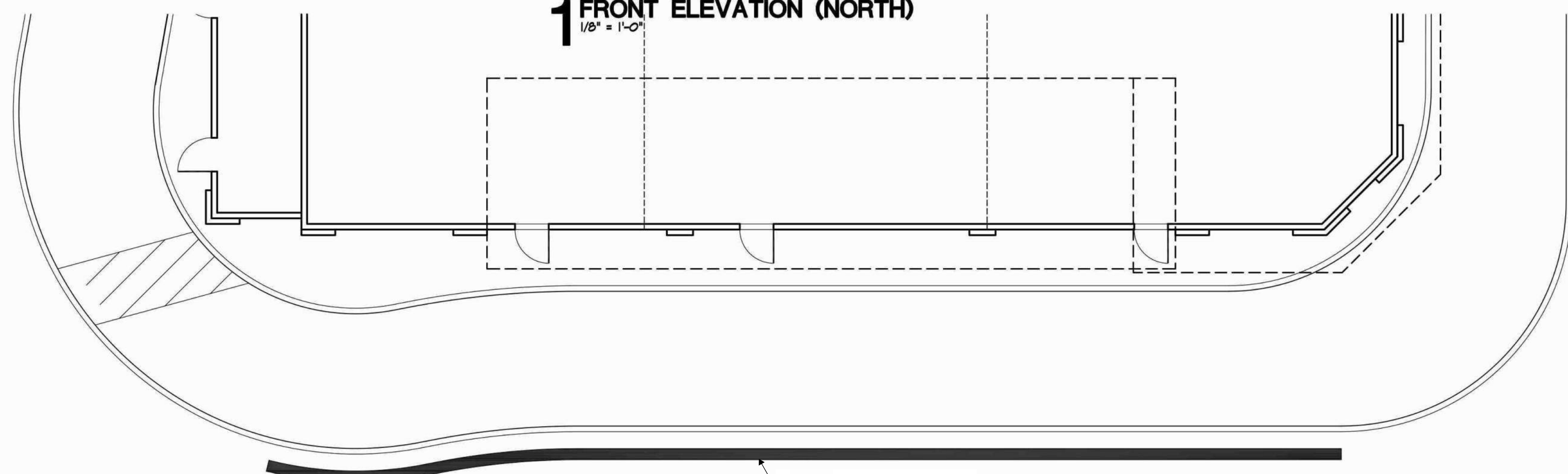
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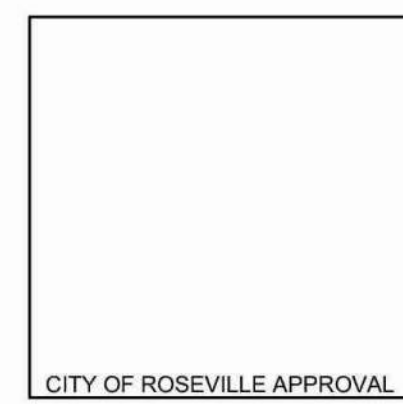
1 FRONT ELEVATION (NORTH)
1/8" = 1'-0"

2 LEFT ELEVATION (EAST)
1/8" = 1'-0"



3 REAR ELEVATION (SOUTH)
1/8" = 1'-0"

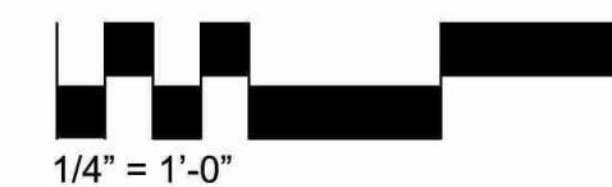
4 RIGHT ELEVATION (WEST)
1/8" = 1'-0"



ELEVATIONS : PAD B
WEST ROSEVILLE MARKETPLACE
ROSEVILLE, CA

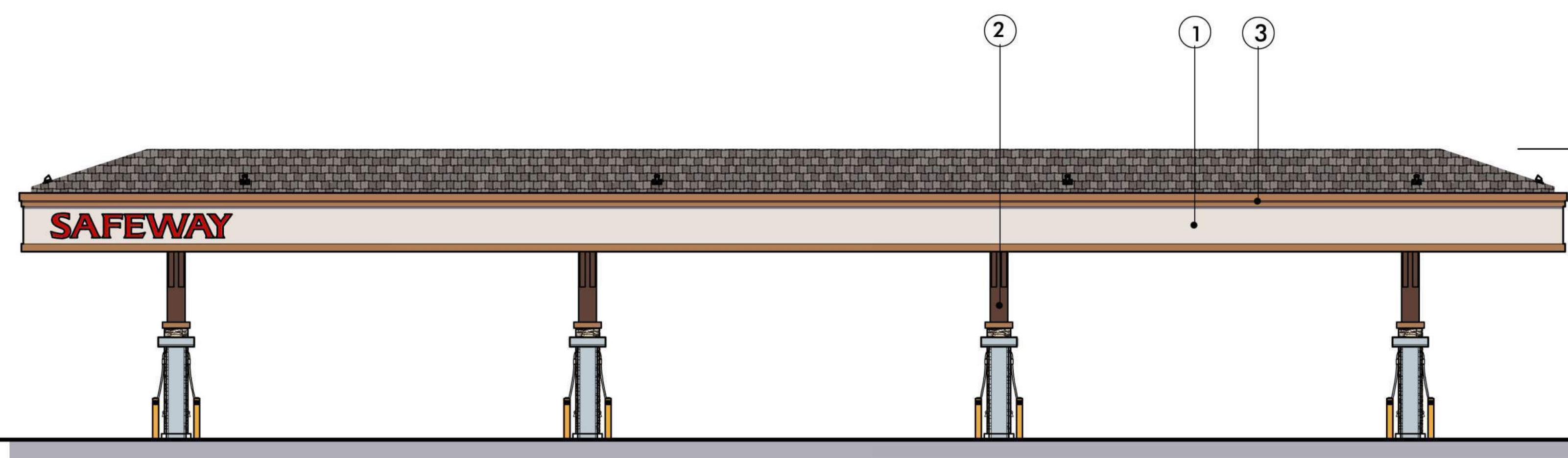
SHEET C2.2C

JOB #: 22002
DATE: 08/11/2022

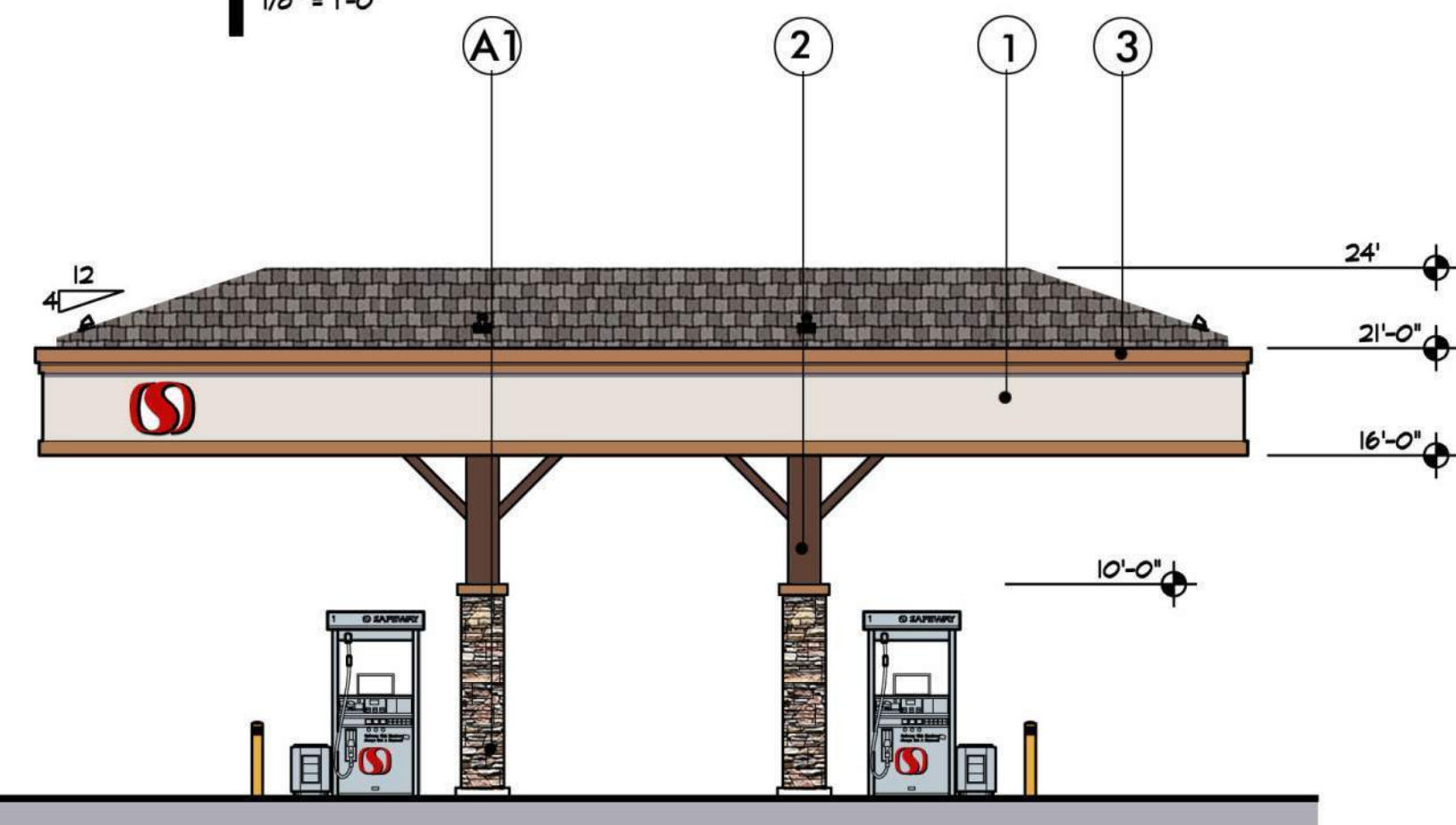


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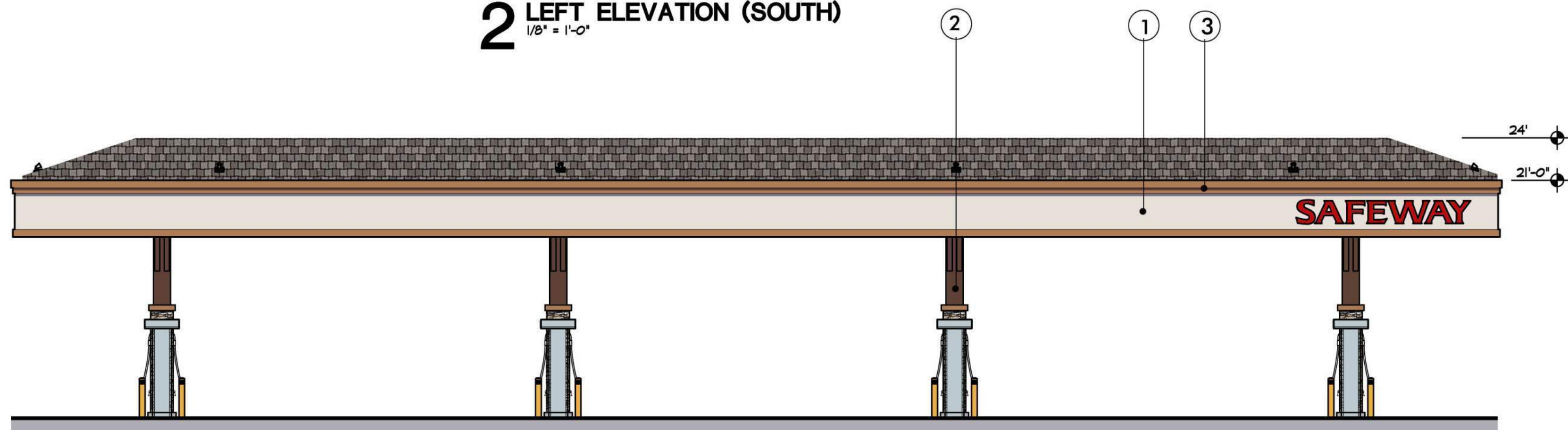




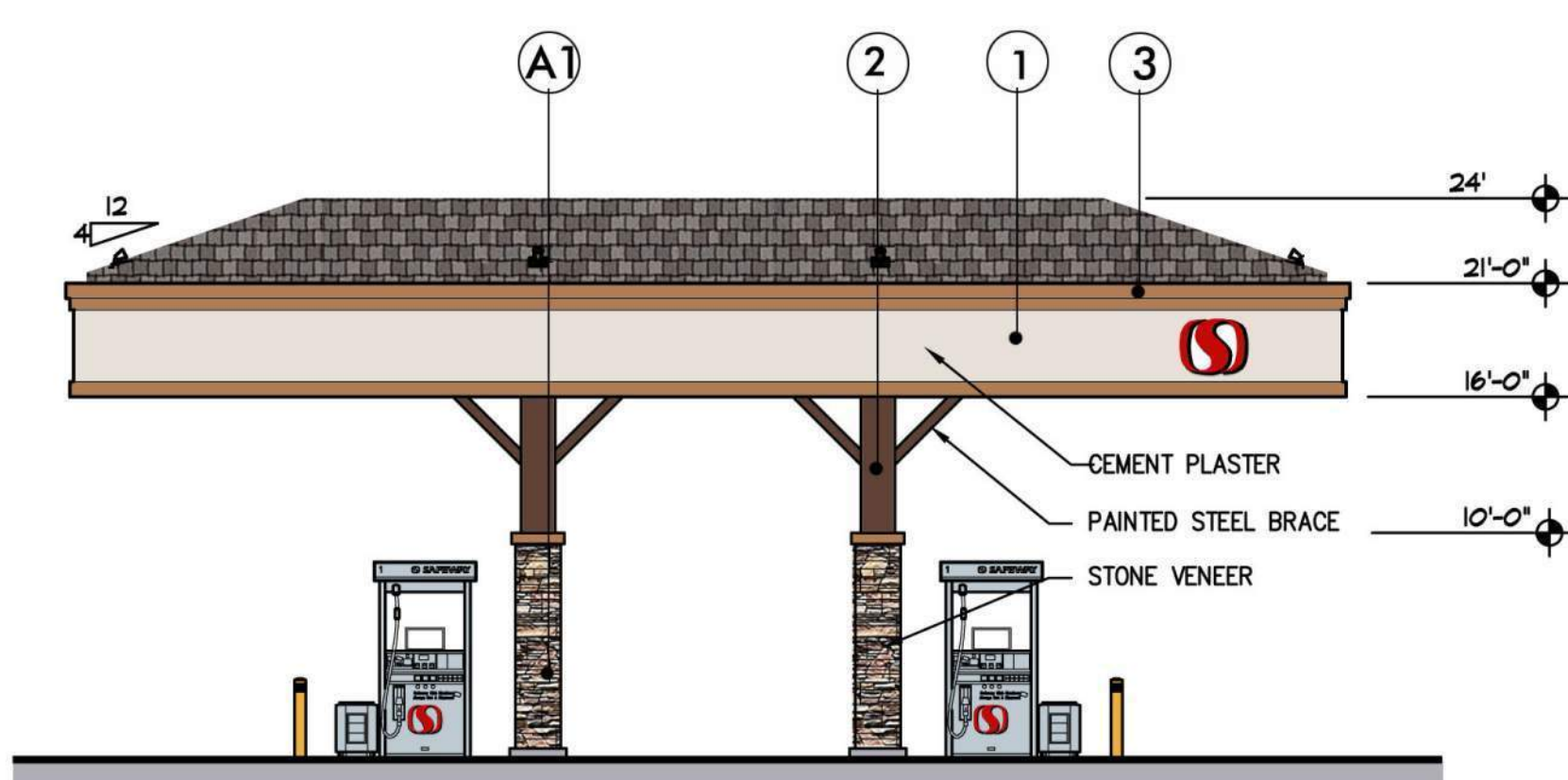
1 FRONT ELEVATION (EAST)
1/8" = 1'-0"



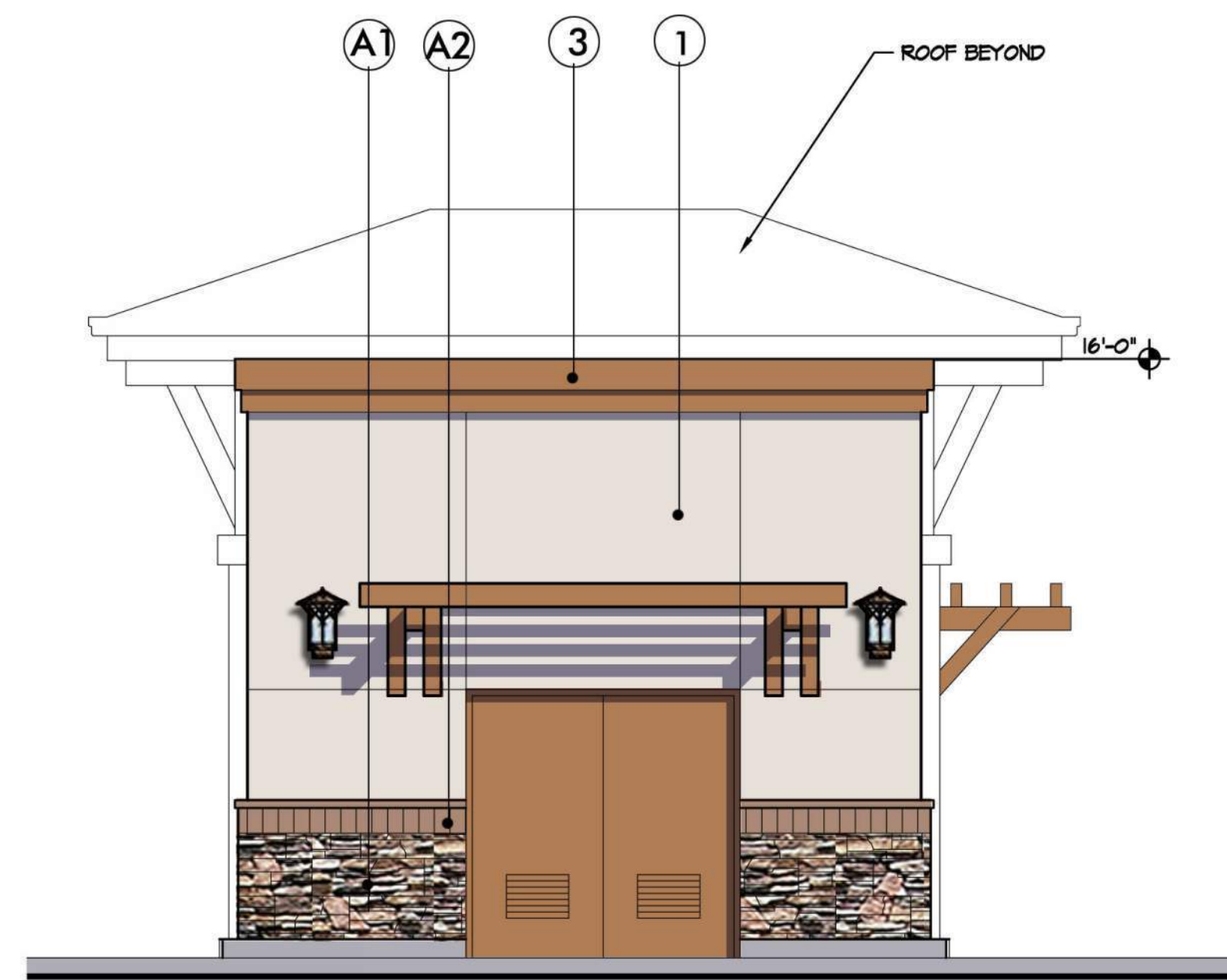
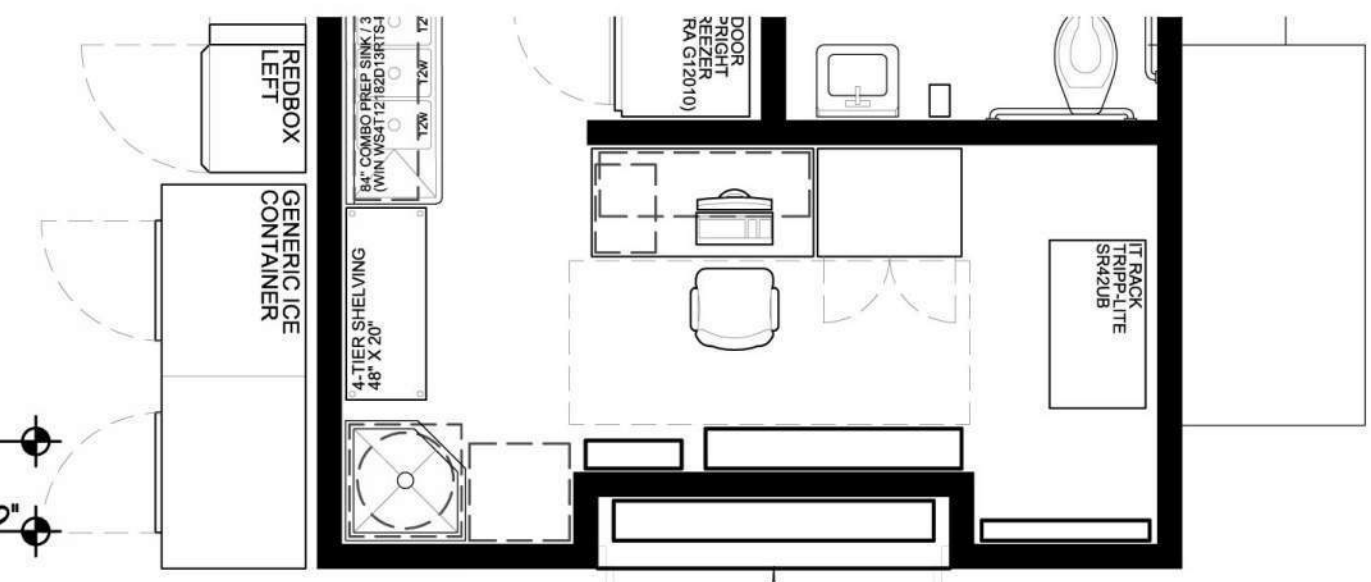
2 LEFT ELEVATION (SOUTH)
1/8" = 1'-0"



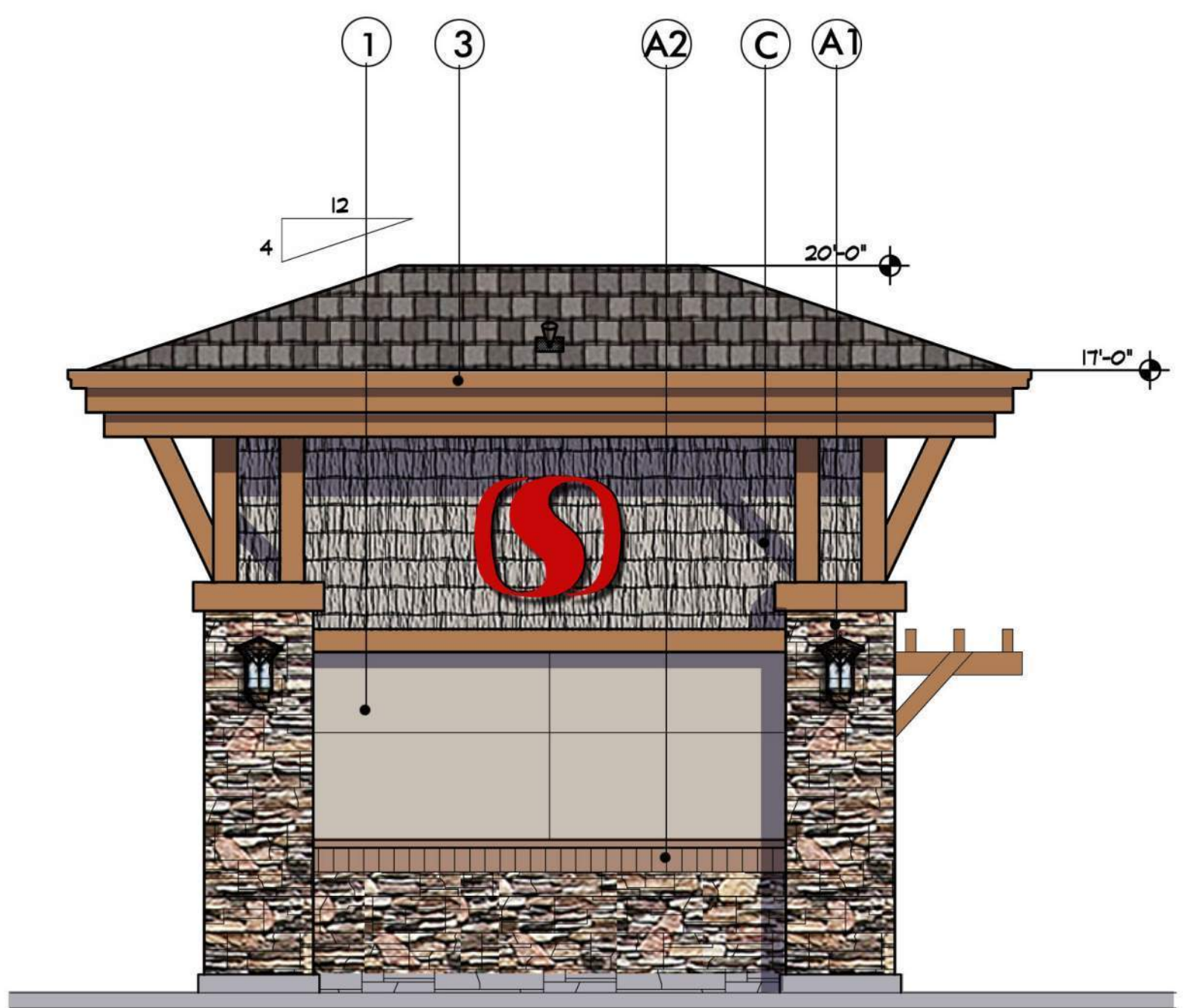
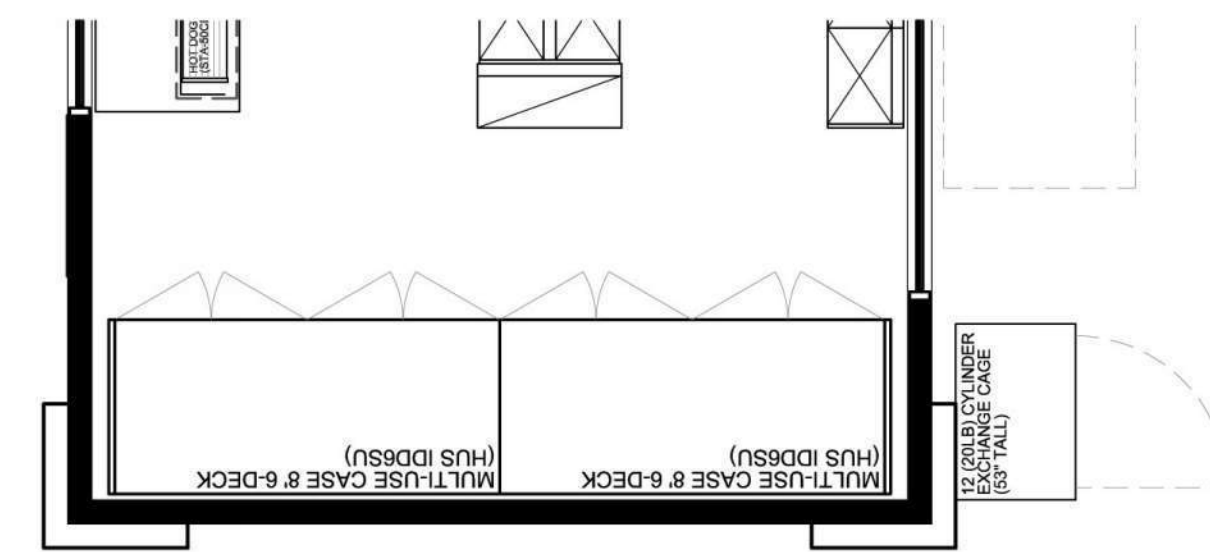
3 REAR ELEVATION (WEST)
1/8" = 1'-0"



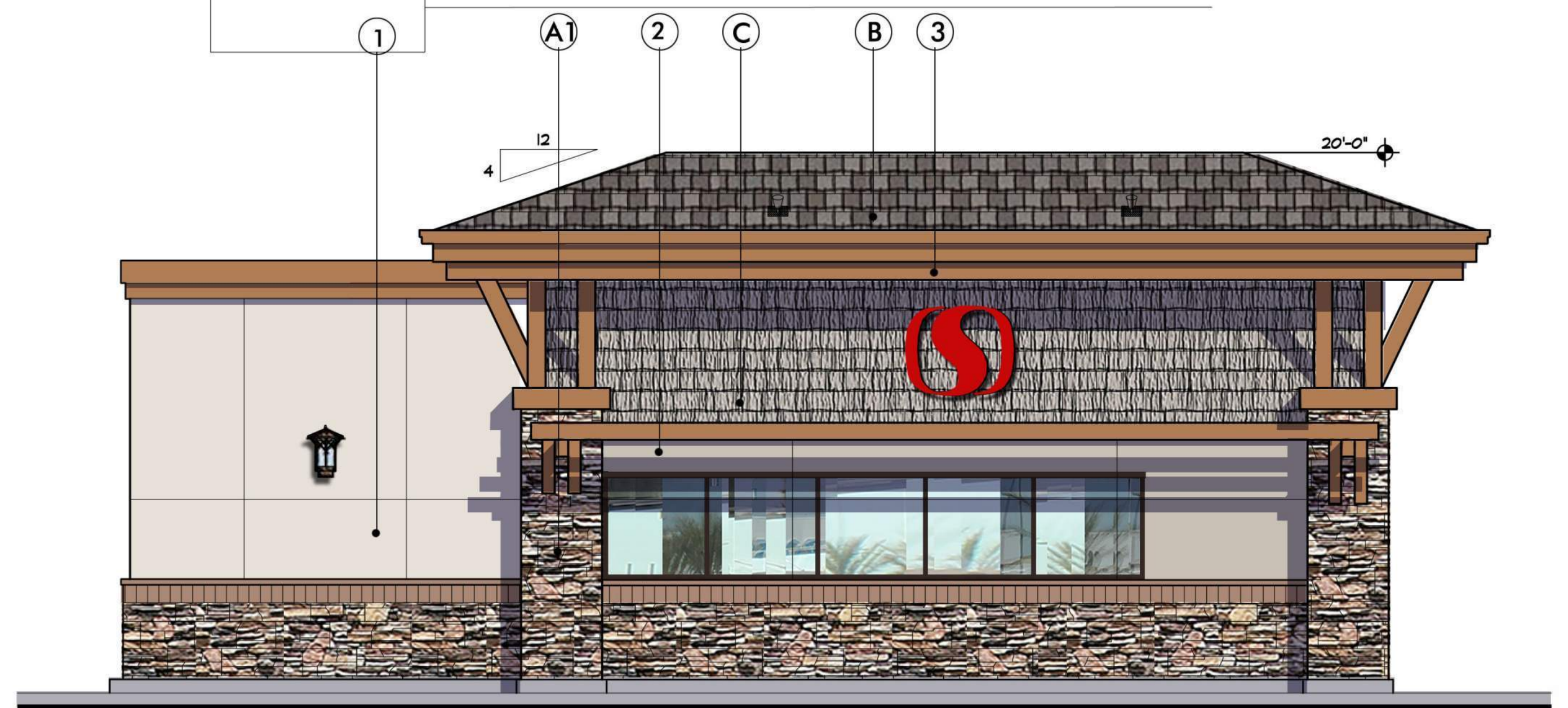
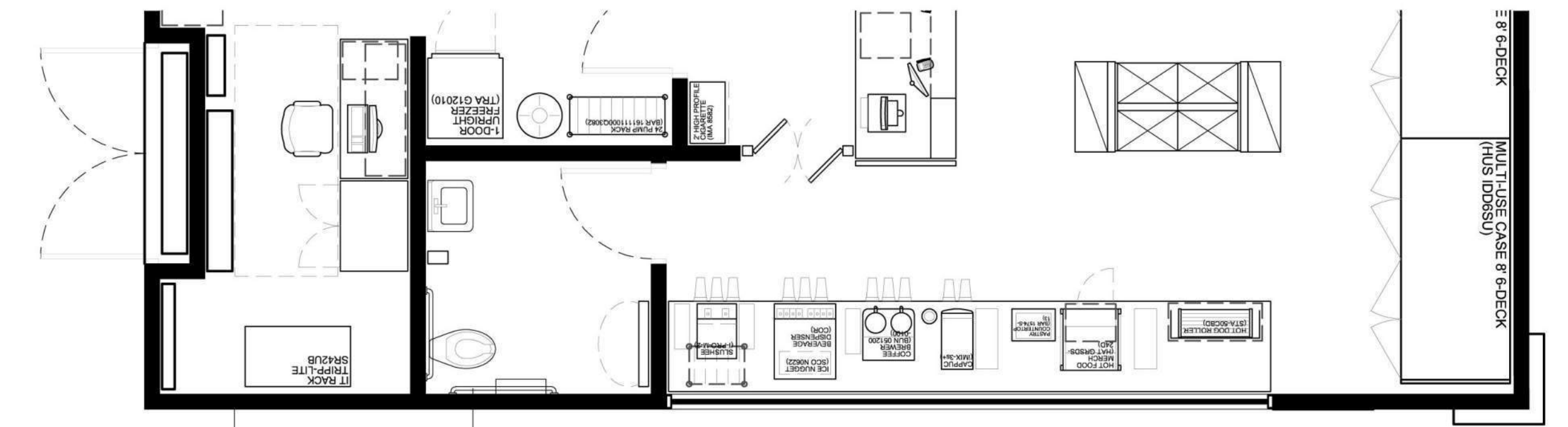
4 RIGHT ELEVATION (NORTH)
1/8" = 1'-0"



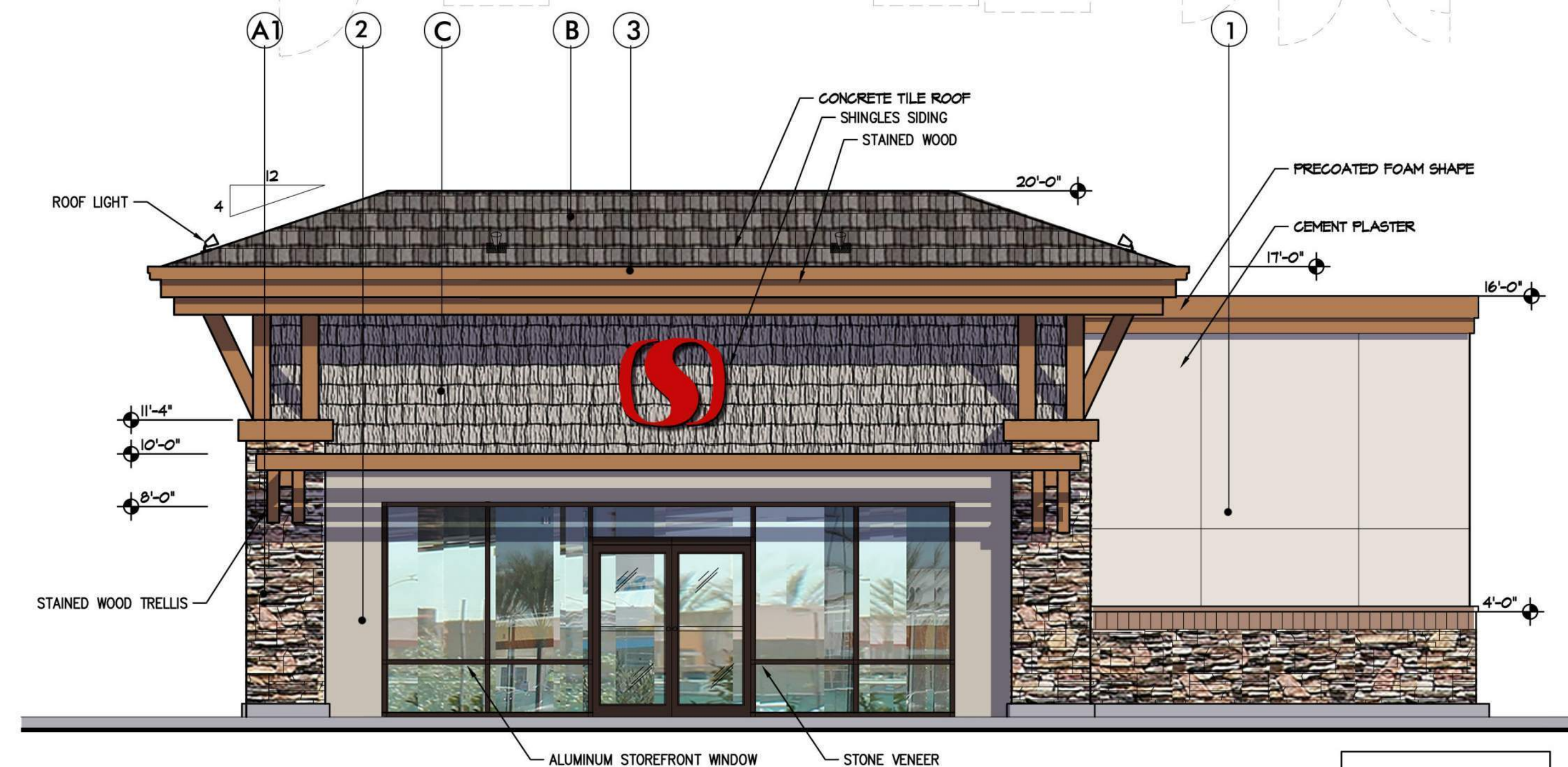
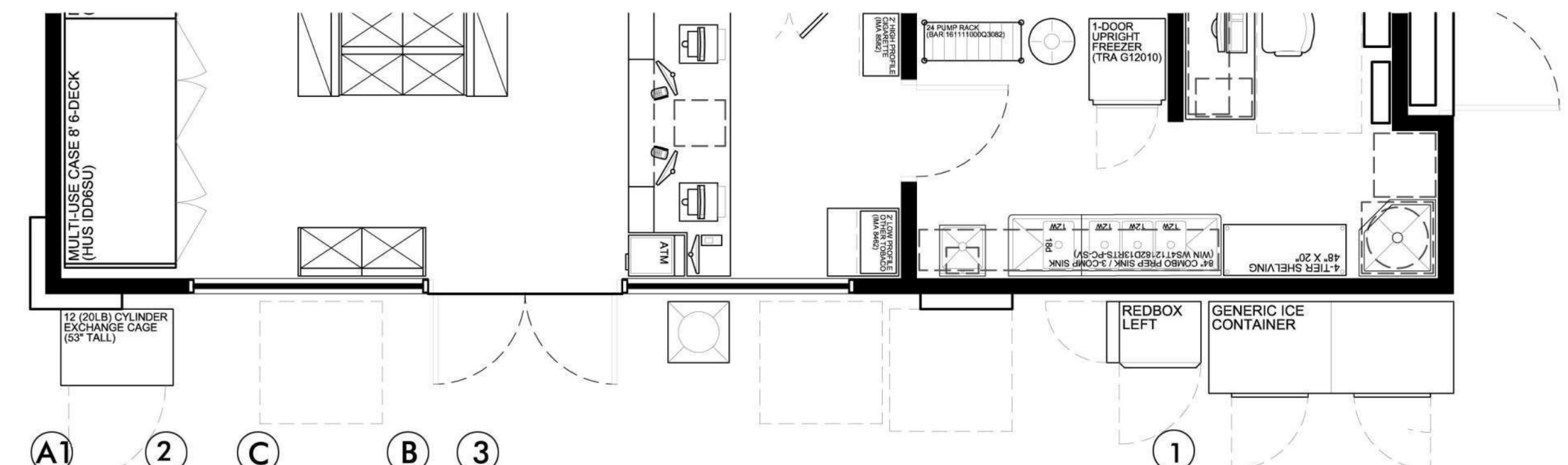
5 RIGHT ELEVATION (NORTH)
1/4" = 1'-0"



7 LEFT ELEVATION (SOUTH)
1/4" = 1'-0"



6 REAR ELEVATION (WEST)
1/4" = 1'-0"



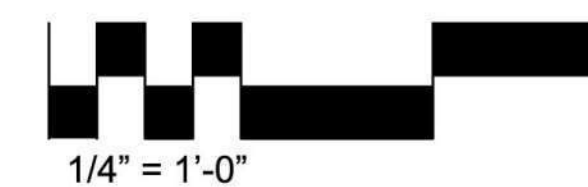
8 FRONT ELEVATION (EAST)
1/4" = 1'-0"

CITY OF ROSEVILLE APPROVAL

ELEVATIONS : FUEL CENTER
WEST ROSEVILLE MARKETPLACE
ROSEVILLE, CA

SHEET C2.2D

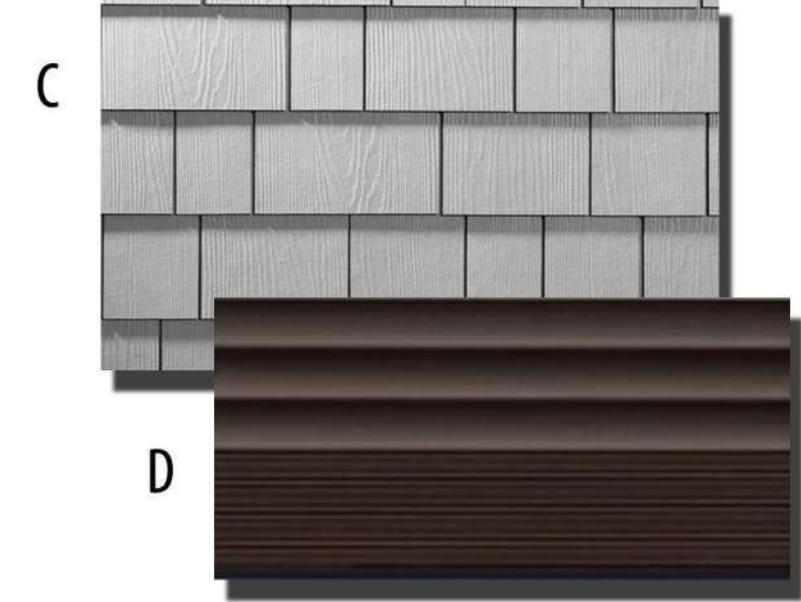
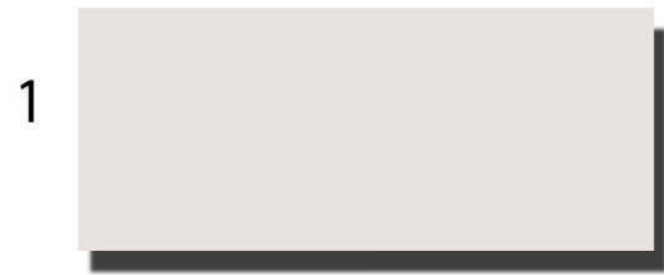
JOB #: 22002
DATE: 03/15/2022



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NADEL

COLOR & MATERIALS



PAINT

1. SHERWIN WILLIAMS SW 7022- ALPACA
2. SHERWIN WILLIAMS SW 6073- PERFECT GREIGE
3. SHERWIN WILLIAMS SW 7523- BURNISHED BRANDY
4. SHERWIN WILLIAMS SW 7510- CHATEAU BROWN
5. SHERWIN WILLIAMS SW 7631- CITY LOFT
6. SHERWIN WILLIAMS SW 0077- CLASSIC FRENCH GRAY

A. STONE VENEER

- A1. CORONADO STONE-
70% EASTERN MOUNTAIN LEDGE-CARMEL MOUNTAIN
30% MINNESOTA FIELDSTONE-WISCONSIN BLEND

- A2. CORONADO STONE-
BRICK MOLDING - RUSTIC BLEND

- B. ROOF TILES
NEWPOINT CONCRETE ROOF TILES-
SAXONY 900 SLATE-APPALACHIAN BLEND

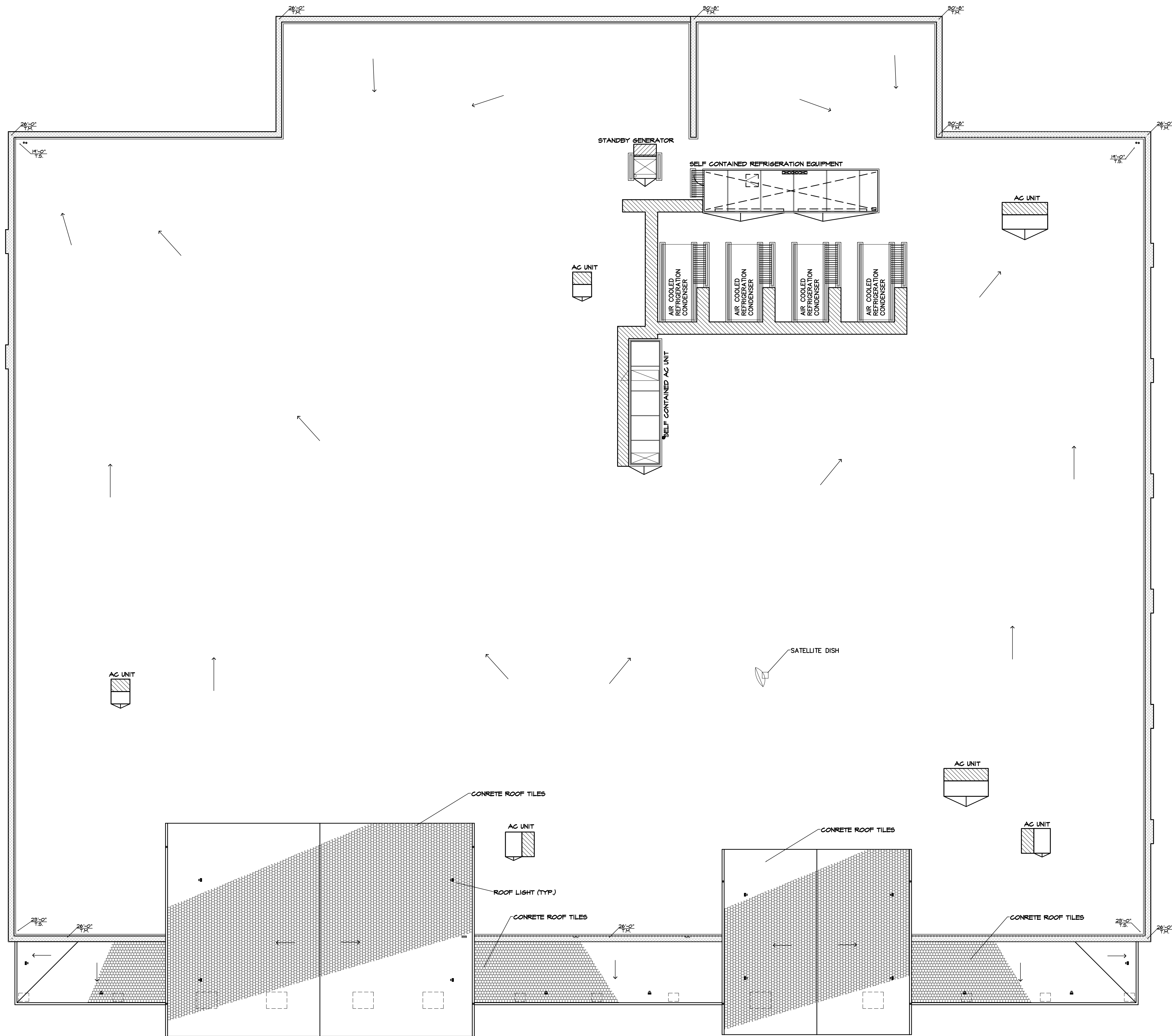
- C. WALL SIDING
JAMES HARDIE - SHINGLE SIDING

- D. STOREFRONT
DARK BRONZE ANODIZED ALUMINUM

- E. LIGHT FIXTURE
STERNBERG LIGHTING- PRAIRIE SERIES

- F. BASALITE CMU BLOCK - 225 PRECISION
WITH PLASTER FINISH, PAINT AS NOTED

- G. BASALITE CMU BLOCK - 128 SPLIT FACE
PAINT AS NOTED



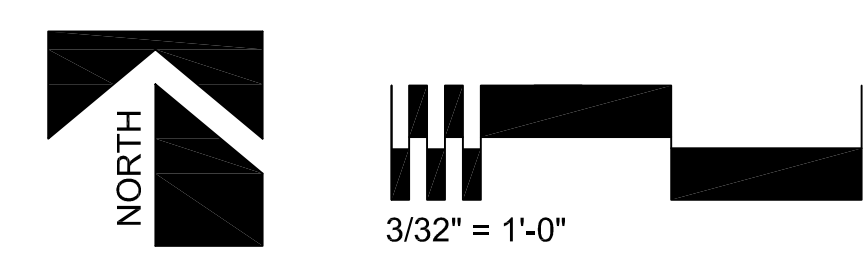
1 ROOF PLAN
3/32" = 1'-0"

CITY OF ROSEVILLE APPROVAL

ROOF PLAN : MAJOR "A"
WEST ROSEVILLE MARKETPLACE
ROSEVILLE, CA

SHEET C2.3 A

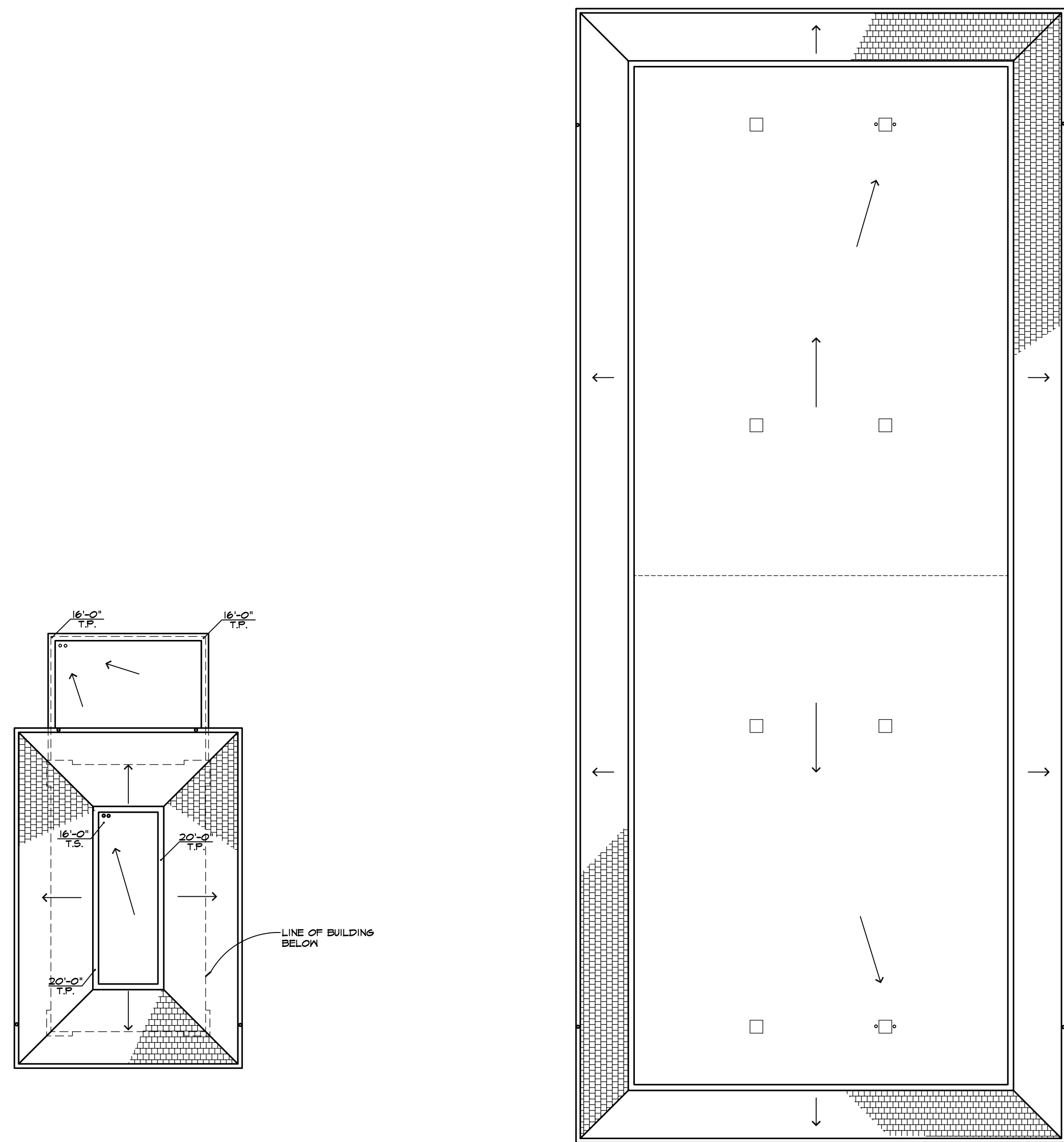
JOB #: 22002
DATE: 03/15/2022



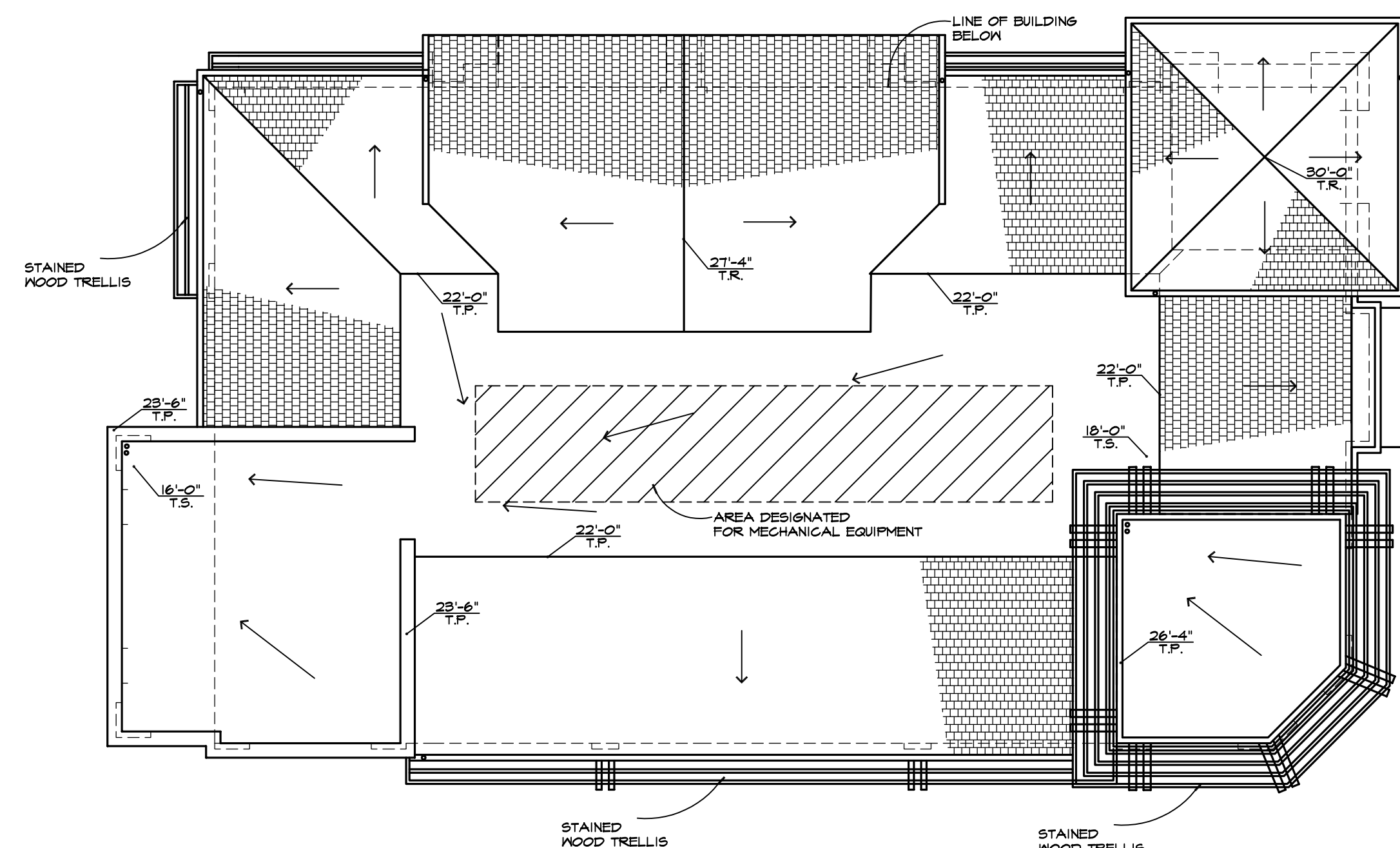
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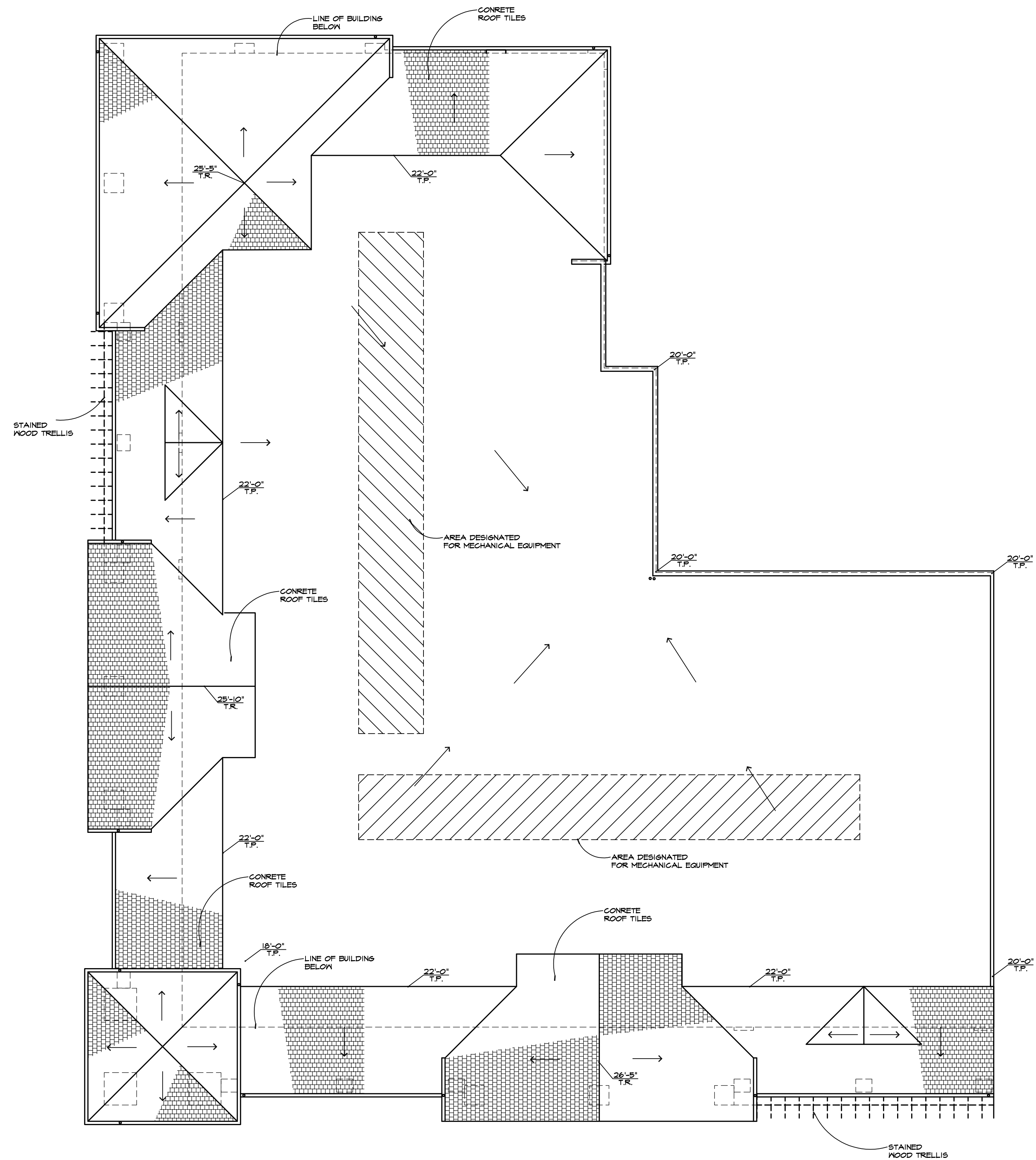
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3 FUEL CENTER ROOF PLAN
3/32" = 1'-0"



2 PAD "B" ROOF PLAN
3/32" = 1'-0"



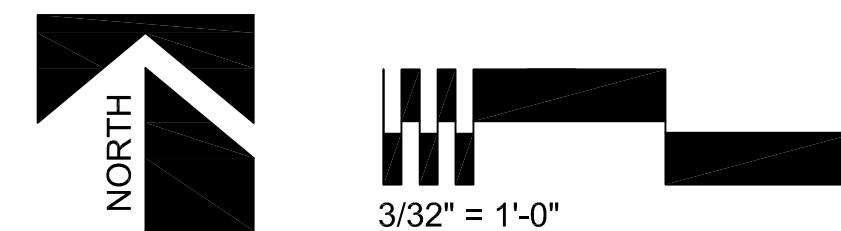
1 SHOPS "1" ROOF PLAN
3/32" = 1'-0"

CITY OF ROSEVILLE APPROVAL

ROOF PLAN : SHOPS "1", PAD "B", FUEL CENTER
WEST ROSEVILLE MARKETPLACE
ROSEVILLE, CA

SHEET C2.3B

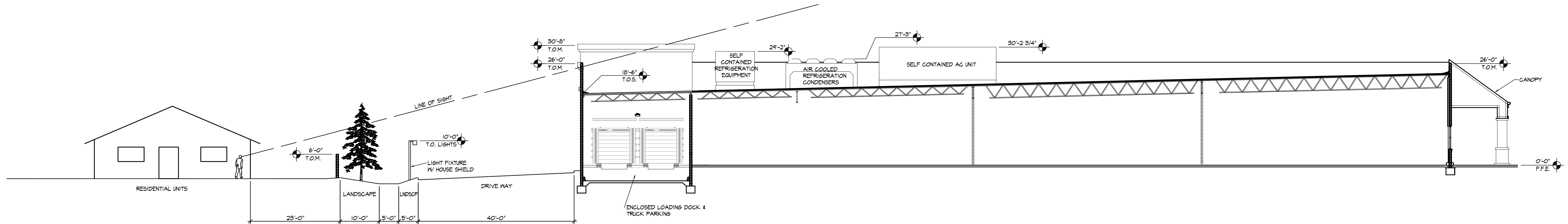
JOB #: 22002
DATE: 03/15/2022



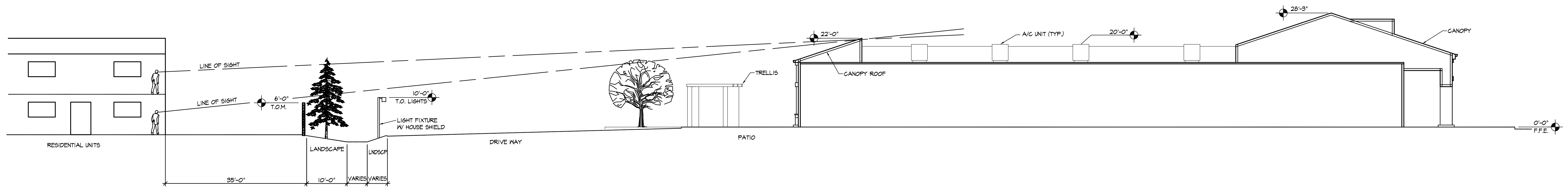
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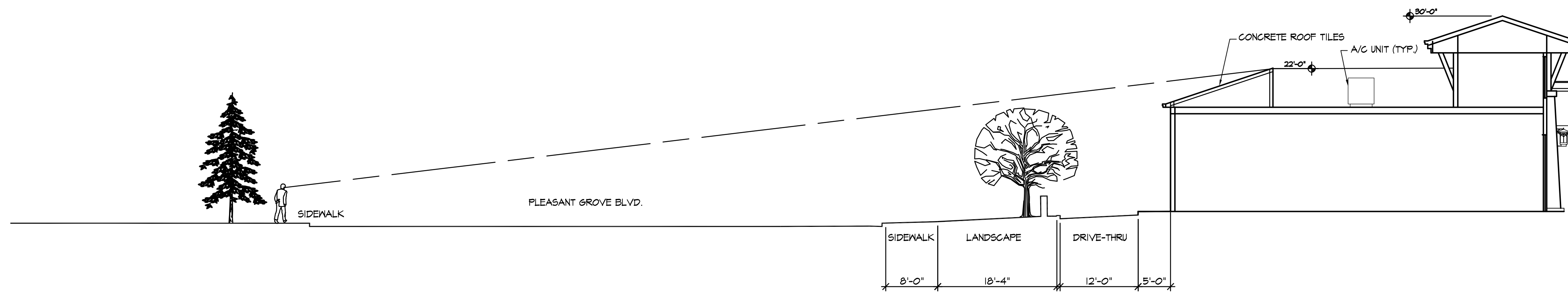
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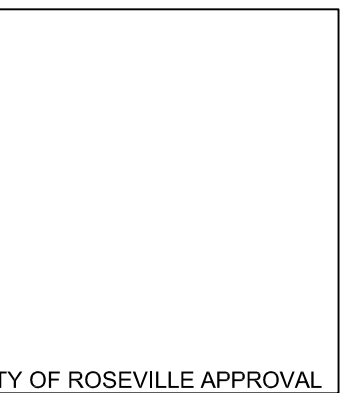
1 SECTION THROUGH MAJOR "A" & RESIDENTIAL
 3/32" = 1'-0"
 REF: C1.1



2 SECTION THROUGH SHOPS "T" & RESIDENTIAL
 3/32" = 1'-0"
 REF: C1.1



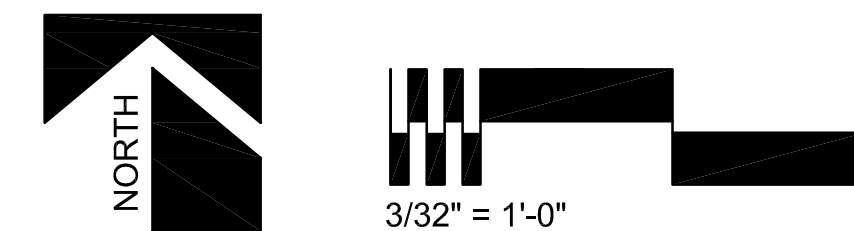
3 SECTION THROUGH PAD "B" & PLEASANT GROVE BLVD
 3/32" = 1'-0"
 REF: C1.1



BUILDING SECTIONS : MAJOR A, SHOPS 1, PAD B
WEST ROSEVILLE MARKETPLACE
 ROSEVILLE, CA

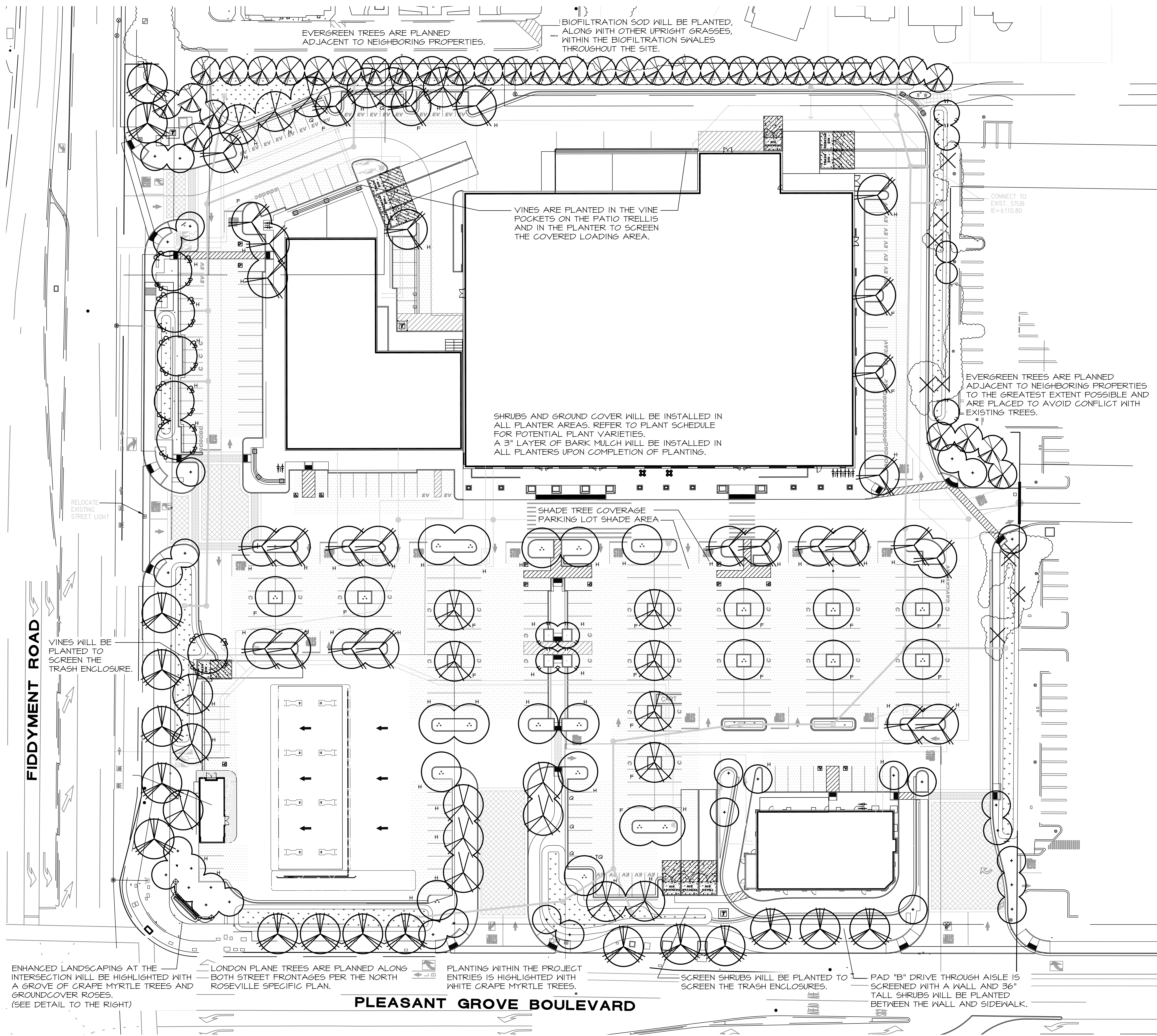
SHEET C2.4

JOB #: 22002
 DATE: 08/16/2022



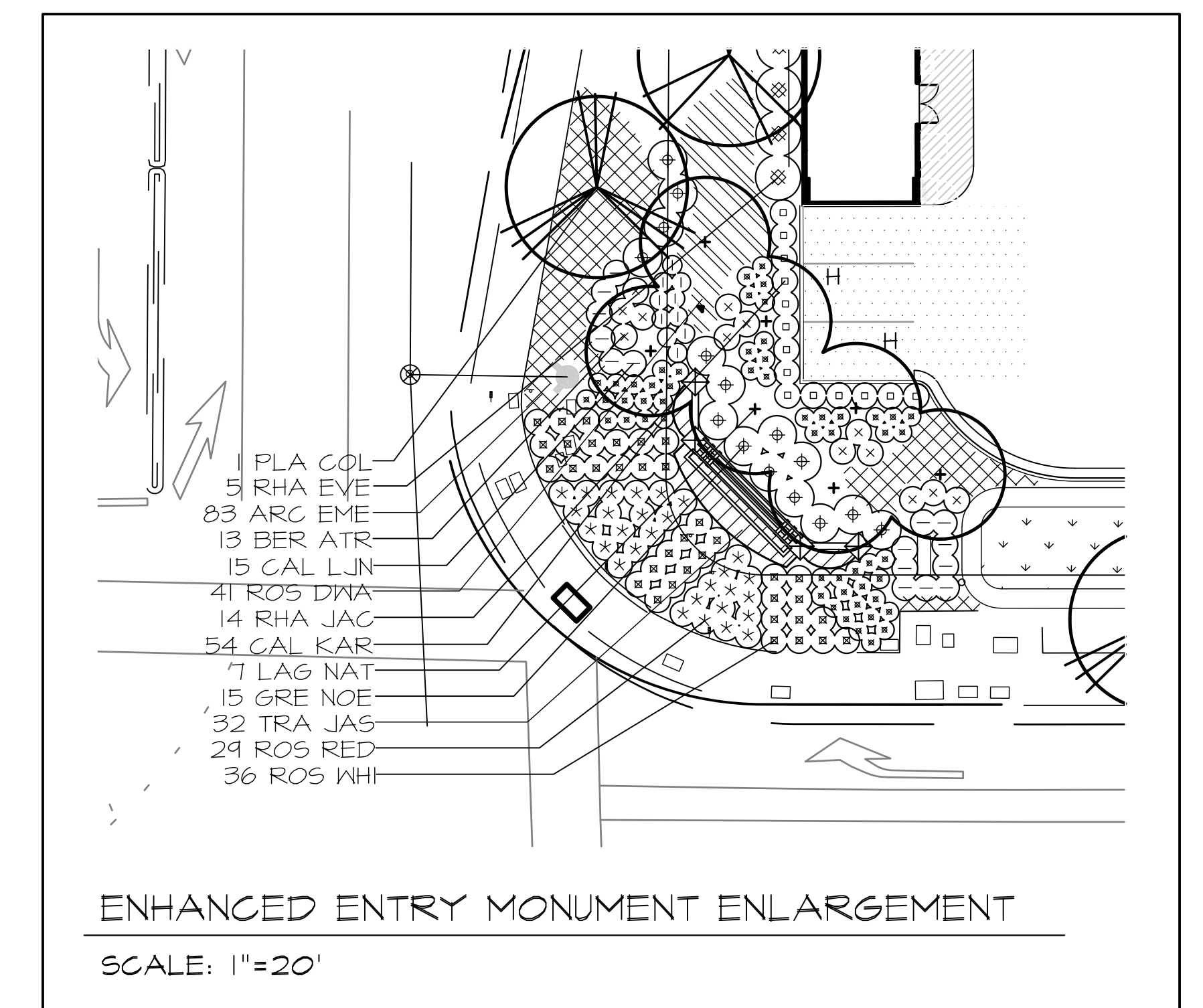
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TREES	CODE	BOTANICAL / COMMON NAME	SIZE	QUANTITY
	ACE OGL	Acer rubrum 'October Glory' / October Glory Red Maple	15 gal	
	LAG NAT	Lagerstroemia indica x fauriei 'Natchez' / Natchez Grape Myrtle	15 gal	
	LAU NOB	Laurus nobilis / Sweet Bay	15 gal	
	PIN ELD	Pinus eldarica / Afghan Pine	15 gal	
	PIS KEI	Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache	24" box	
	PLA COL	Platanus x acerifolia 'Columbia' / Columbia London Plane Tree	15 gal	
	QUE SKY	Quercus robur 'Fastigiata' TM / Skyrocket English Oak	15 gal	
	ULM DRA	Ulmus parvifolia 'Drake' / Drake Lacebark Elm	15 gal	
	ZEL SER	Zelkova serrata / Sawleaf Zelkova	15 gal	

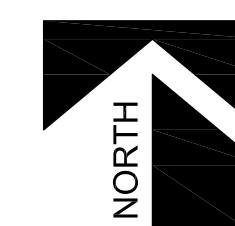
SEE SHEET L1.2 FOR FULL PLANT SCHEDULE



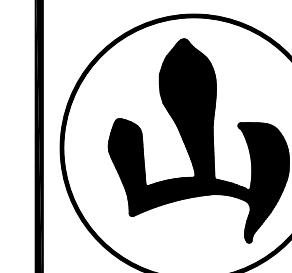
PRELIMINARY LANDSCAPE PLAN
WEST ROSEVILLE MARKETPLACE
1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

SHEET L1.1

JOB #: 22002
DATE: 7/11/22



30



YAMASAKI
LANDSCAPE ARCHITECTURE
1223 HIGH STREET, AUBURN, CA 95603
(530) 885-0040
FAX: (530) 885-0042

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PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	WUCOLS	
	ACE OGL	Acer rubrum 'October Glory' / October Glory Red Maple	15 gal	L	
	LAG NAT	Lagerstroemia indica x fauriei 'Natchez' / Natchez Grape Myrtle	15 gal	L	
	LAU NOB	Laurus nobilis / Sweet Bay	15 gal	L	
	PIN ELD	Pinus eldarica / Afghan Pine	15 gal	L	
	PIS KEI	Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache	24" box	L	
	PLA COL	Platanus x acerifolia 'Columbia' / Columbia London Plane Tree	15 gal	M	
	QUE SKY	Quercus robur 'Fastigiata' TM / Skyrocket English Oak	15 gal	L	
	ULM DRA	Ulmus parvifolia 'Drake' / Drake Lacebark Elm	15 gal	L	
	ZEL SER	Zelkova serrata / Sawleaf Zelkova	15 gal	L	
POTENTIAL SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	WUCOLS	
	BER ATR	Berberis thunbergii 'Atropurpurea' / Red Leaf Japanese Barberry	5 gal	L	
	CAL LJN	Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush	5 gal	L	
	CIS HMI	Cistus x hybridus 'Mickle' / Mickle Rockrose	5 gal	L	
	GRE NOE	Grevillea x 'Noellii' / Noel Grevillea	5 gal	L	
	MAH SOF	Mahonia evjibracteata 'Soft Caress' / Mahonia Soft Caress	5 gal	L	
	NAN COM	Nandina domestica 'Compacta' / Dwarf Heavenly Bamboo	5 gal	L	
	NAN HAR	Nandina domestica 'Harbour Dwarf' / Harbour Dwarf Heavenly Bamboo	5 gal	L	
	NAN LEM	Nandina domestica 'Lemon Lime' / Lemon Lime Nandina	5 gal	L	
	PIT VAR	Pittosporum tobira 'Variegata' / Variegated Japanese Pittosporum	5 gal	L	
	PRU BRI	Prunus caroliniana 'Monus' TM / Bright 'N Tight Carolina Laurel Cherry	5 gal	L	
	RHA EVE	Rhamnus californica 'Eve Case' / California Coffeeberry	5 gal	L	
	RHA JAC	Rhaphiolepis indica 'Jack Evans' / Indian Hawthorn	5 gal	M	
	ROS RED	Rosa x 'Noare' TM / Flower Carpet Red Groundcover Rose	2 gal	WUCOLS	
	ROS WHI	Rosa x 'Noaschnee' TM / Flower Carpet White Groundcover Rose	2 gal	L	
POTENTIAL GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	WUCOLS	
	CAL KAR	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	L	
	LOM LON	Lomandra longifolia 'Platinum Beauty' / Mat Rush	1 gal	L	
	MUH REG	Muhlenbergia capillaris 'Regal Mist' / Regal Mist Pink Muhly Grass	1 gal	WUCOLS	
	MUH RIG	Muhlenbergia rigens / Deer Grass	1 gal	L	
POTENTIAL VINES	CODE	BOTANICAL / COMMON NAME	SIZE	WUCOLS	
	FIC PUM	Ficus pumila / Creeping Fig	5 gal	L	
POTENTIAL GROUND COVERS	CODE	BOTANICAL / COMMON NAME	SIZE	SPACING	WUCOLS
	ARC EME	Arctostaphylos uva-ursi 'Emerald Carpet' / Kinnikinnick	1 gal	36" o.c.	L
	ROS DWA	Rosmarinus officinalis 'Prostratus' / Dwarf Rosemary	1 gal	36" o.c.	M
	TRA JAS	Trachelospermum jasminoides / Chinese Star Jasmine	1 gal	24" o.c.	
POTENTIAL SEED/SOD	CODE	BOTANICAL / COMMON NAME	SIZE	SPACING	
	TUR BIO	Turf Sod Biofiltration Sod / Drought Tolerant Grass Blend	sod		

PLANTING STATEMENT

The proposed landscape plant palette consists of low water use shrubs, groundcover, trees, and ornamental grasses that are considered low maintenance and hardy. Choice of plants is guided by considerations of solar exposure and climate conditions of the site. Plant selection aims for longevity by selecting plants that are long lived varieties of trees, shrubs, groundcover, and grasses.

Street trees planned for Fiddlyment Road and Pleasant Grove Boulevard are London Plane Tree as specified in the North Roseville Specific Plan. Secondary trees and accent trees are chosen from the evergreen and deciduous tree list found in the specific plan.

Shrubs and groundcover container size is no less than 1-gallon size. Trees are no less than 15-gallon size. Plant materials will be spaced to provide substantial cover, but also to allow adequate room to mature into their natural form and ultimate size without required pruning.

IRRIGATION STATEMENT

The irrigation system will be serviced by a new point of connection. The irrigation design will consist of low volume drip irrigation. Proposed trees shall utilize bubbler irrigation to encourage deep root watering. The overall irrigation system will be designed with a smart irrigation controller. A weather sensor will be used to automatically adjust duration of application in accordance with recent weather conditions based on evapotranspiration. Maximum water allowance will be determined by State code. To also be consistent with the planting design, the irrigation design will create separate irrigation stations by hydrozone, locating plants of different water and solar needs into groups.

GENERAL NOTES

Trees and landscape planting shall be placed and pruned as to not interfere at maturity with 13'-6" emergency vehicle access clearance.

Plant material has been selected to not interfere with building numbers and addresses at mature height.

Plant material shall be installed around the backflow preventer providing a four foot clear zone. Plant material shall only be installed on three sides and should not have any thorns.

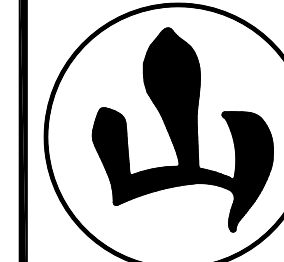
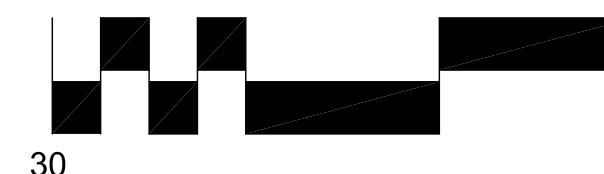
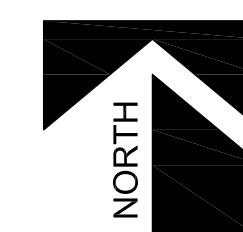
Provide min. clearance around all electrical equipment per Roseville electric landscape requirements as outlined in specifications for commercial construction.

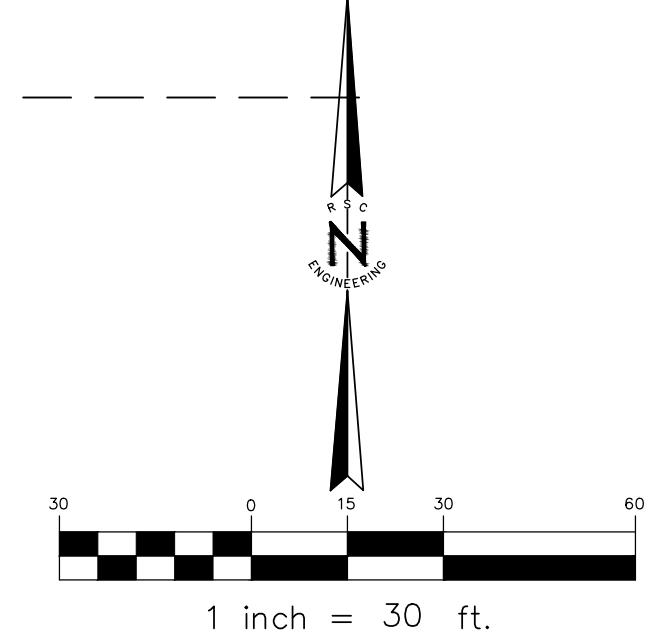
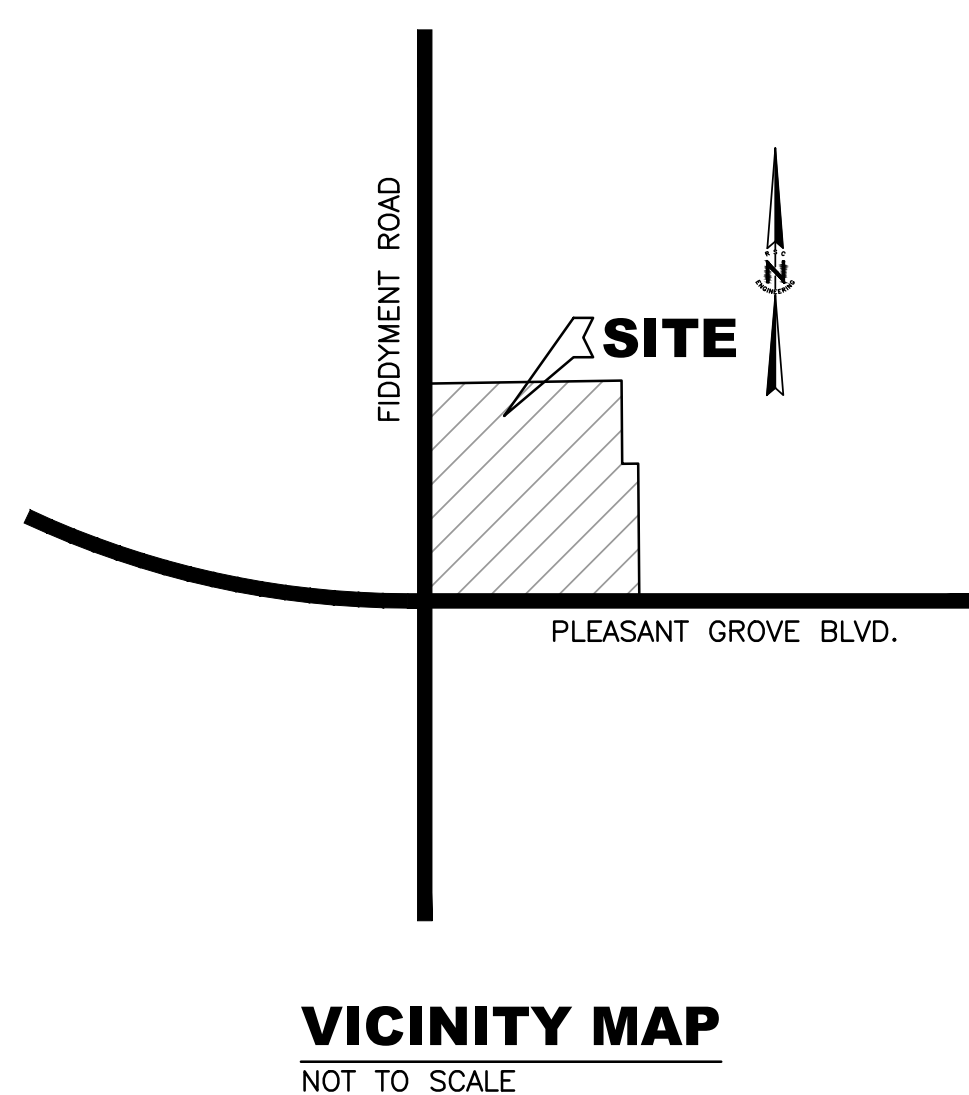
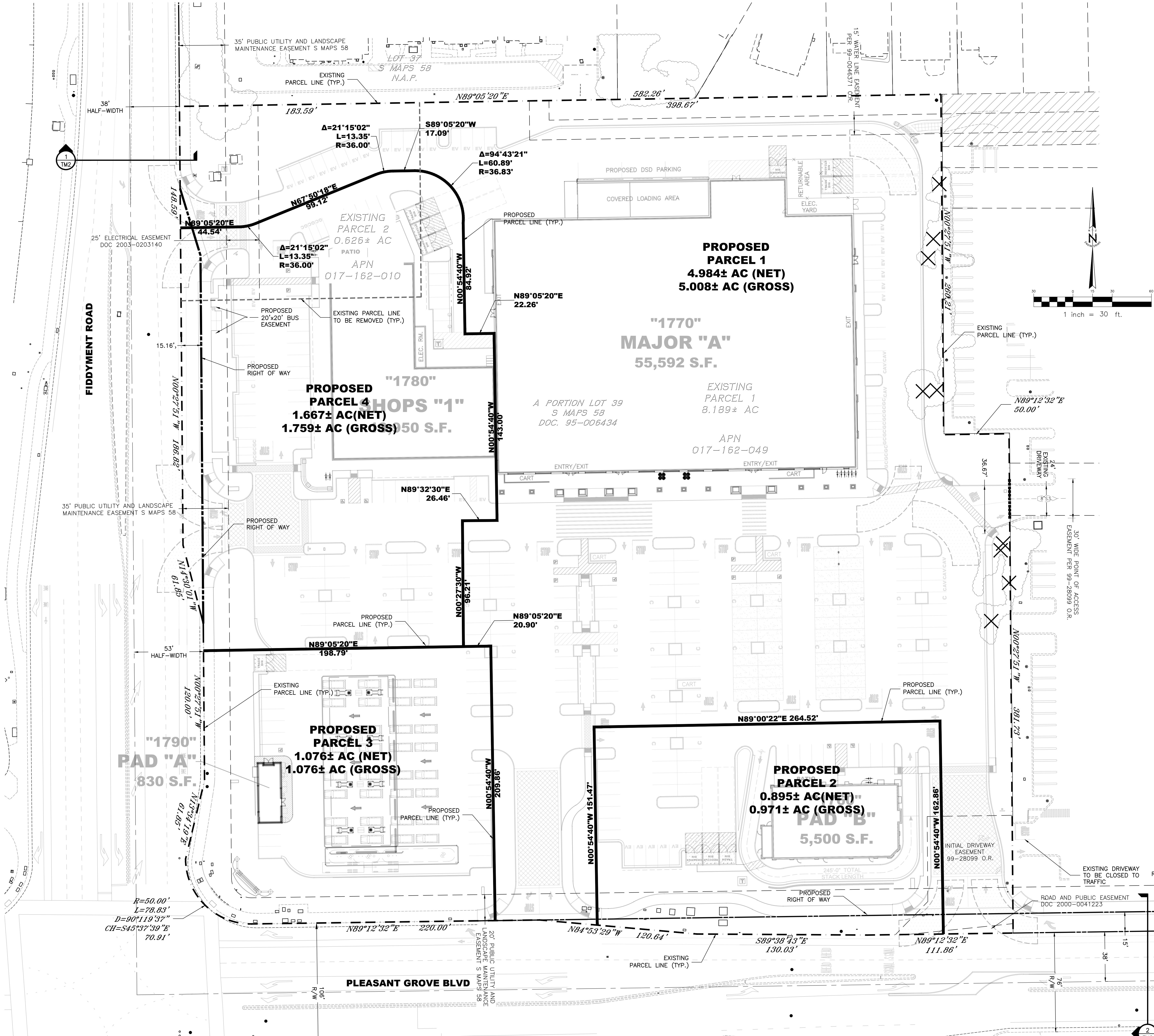
Provide minimum three feet clearance around three sides of transformers and eight feet clearance in front. Install a 3" layer of bark in the clear area.

Provide a minimum three foot clearance around all fire protection equipment.

PARKING LOT SHADE CALCULATIONS

TREE SYMBOL	100%	75%	50%	25%
ACE. OGL.			5 (481) = 2,405	
LAG. NAT.			2 (157) = 314	
LAU. NOB.			4 (157) = 628	
PIS. KEI.	6 (462) = 2,772		11 (481) = 5,291	5 (240) = 1,200
ULM. DRA.	5 (462) = 2,310		23 (481) = 11,063	
ZEL. SER.	9 (462) = 4,158	1 (722) = 722	13 (481) = 6,253	
PARKING LOT AREA	92,530 s.f.			
SHADE REQUIRED (50%)	46,265 s.f.			
TOTAL SHADE	46,635 s.f.			
PERCENT SHADE	51%			





OWNER :

SAFEWAY, INC.
5918 STONERIDGE MALL ROAD
PLEASANTON, CA 94588
ATTN: TODD PARADIS

DEVELOPER :

WEST ROSEVILLE ASSOCIATES, LLC
1420 ROCKY RIDGE DRIVE, SUITE 170
NEWPORT BEACH, CA 92660
ATTN: JEFF WOOD

APPLICANT :

RSC ENGINEERING, INC.
1420 ROCKY RIDGE DR., SUITE 150
ROSEVILLE, CA 95661
ATTN: TIFFANY WILSON
(916) 788-2884

APN

017-162-010
017-162-049

GENERAL PLAN DESIGNATION

CC (COMMUNITY COMMERCIAL)

ZONING

CC/SA
(COMMUNITY COMMERCIAL/SPECIAL AREA)

EXISTING ACREAGE

PARCEL 1: 8.188± AC
PARCEL 2: 0.626± AC
TOTAL: 8.815± AC

PROPOSED ACREAGE (NET)

PARCEL 1: 4.984± AC
PARCEL 2: 0.895± AC
PARCEL 3: 1.076± AC
PARCEL 4: 1.667± AC
TOTAL: 8.622± AC

PROPOSED ACREAGE (GROSS)

PARCEL 1: 5.008± AC
PARCEL 2: 0.971± AC
PARCEL 3: 1.076± AC
PARCEL 4: 1.759± AC
TOTAL: 8.815± AC

UTILITY PROVIDERS:

WATER: ROSEVILLE ENVIRONMENTAL UTILITIES
SEWER: ROSEVILLE ENVIRONMENTAL UTILITIES
DRAINAGE: ROSEVILLE ENVIRONMENTAL UTILITIES
FIRE: ROSEVILLE FIRE DEPARTMENT
ELECTRIC: ROSEVILLE ELECTRIC
GAS: PG&E

LEGEND

- EXISTING BOUNDARY LINE
- - - EXISTING PARCEL LINE TO BE REMOVED
- PROPOSED PARCEL LINE
- - - PROPOSED RIGHT OF WAY
- - - EXISTING EASEMENTS
- ✕ EXISTING TREES TO BE REMOVED (9 TOTAL)

NOTES

1. A RECIPROCAL ACCESS AND UTILITY EASEMENT FOR ALL PARCELS WILL BE RECORDED CONCURRENT WITH THE MAP.

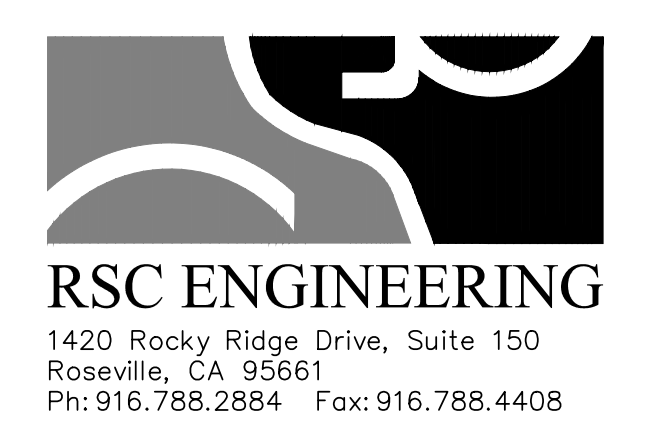
BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ROSEVILLE BENCHMARK NO. 71. A 3 1/2" BRASS DISC STAMPED "LS6046, DEC. 1995" SET IN THE TOP BACK OF CURB AND WEST OF A DRAIN INLET, NORTH SIDE OF PLEASANT GROVE BLVD. +\ - 900' EAST OF FIDDYMENT ROAD. ELEVATION = 122.34'

TENTATIVE MAP
WEST ROSEVILLE MARKETPLACE
1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

TM1

RSC JOB #: 277-001
DATE: 07/22/2022

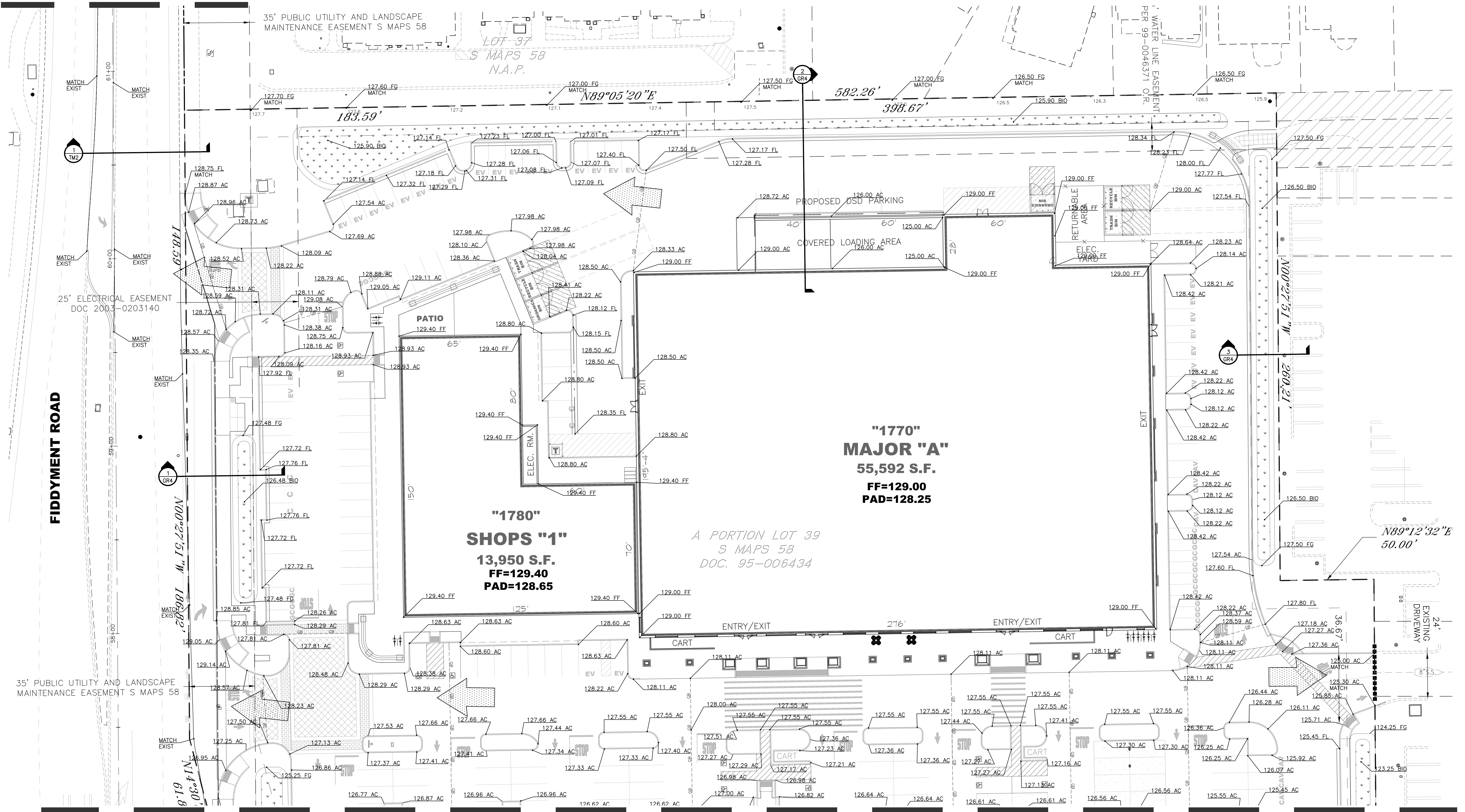


NADEL STUDIO ONE, INC.
1990 S. BUNDY DR., SUITE 400
LOS ANGELES, CA 90025
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WWW.NADELARC.COM



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MATCH LINE SEE SHEET GR 3



MATCH LINE SEE SHEET GR 2

***PRELIMINARY EARTHWORK QUANTITIES**

CUT	10,578.25± CU YARD
FILL	14,795.56± CU YARD
TOTAL (CUT)	4,217.31± CU YARD

***NOTE:**
THIS INFORMATION IS SHOWN FOR PLAN REQUIREMENT PURPOSES ONLY. THE CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK CALCULATIONS AND BID ACCORDINGLY.

- NOTES**
- CONTRACTOR SHALL STRIP AND REMOVE EXISTING ORGANICS LAYER IN ACCORDANCE WITH THE GEOTECHNICAL REPRESENTATIVE RECOMMENDATIONS. ORGANICS SHALL BE PLACED IN A TEMPORARY STOCKPILE AND PLACED IN DISTURBED AREAS UPON COMPLETION OF GRADING ACTIVITIES.
 - ALL GRADING AND COMPACTION OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH THE GEOTECHNICAL REQUIREMENTS.
 - CONTRACTOR SHALL ADJUST EXISTING WATER, SEWER AND STORM DRAIN APPURTENANCES TO GRADE.

LEGEND

- 100.00 FL EXISTING GRADE
- 125 EXISTING CONTOUR
- PAD GRADING LIMITS
- 100.00 FL PROPOSED GRADE
- OVERLAND RELEASE ARROW

CITY OF ROSEVILLE APPROVAL

PRELIMINARY GRADING PLAN

WEST ROSEVILLE MARKETPLACE

1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

GR1

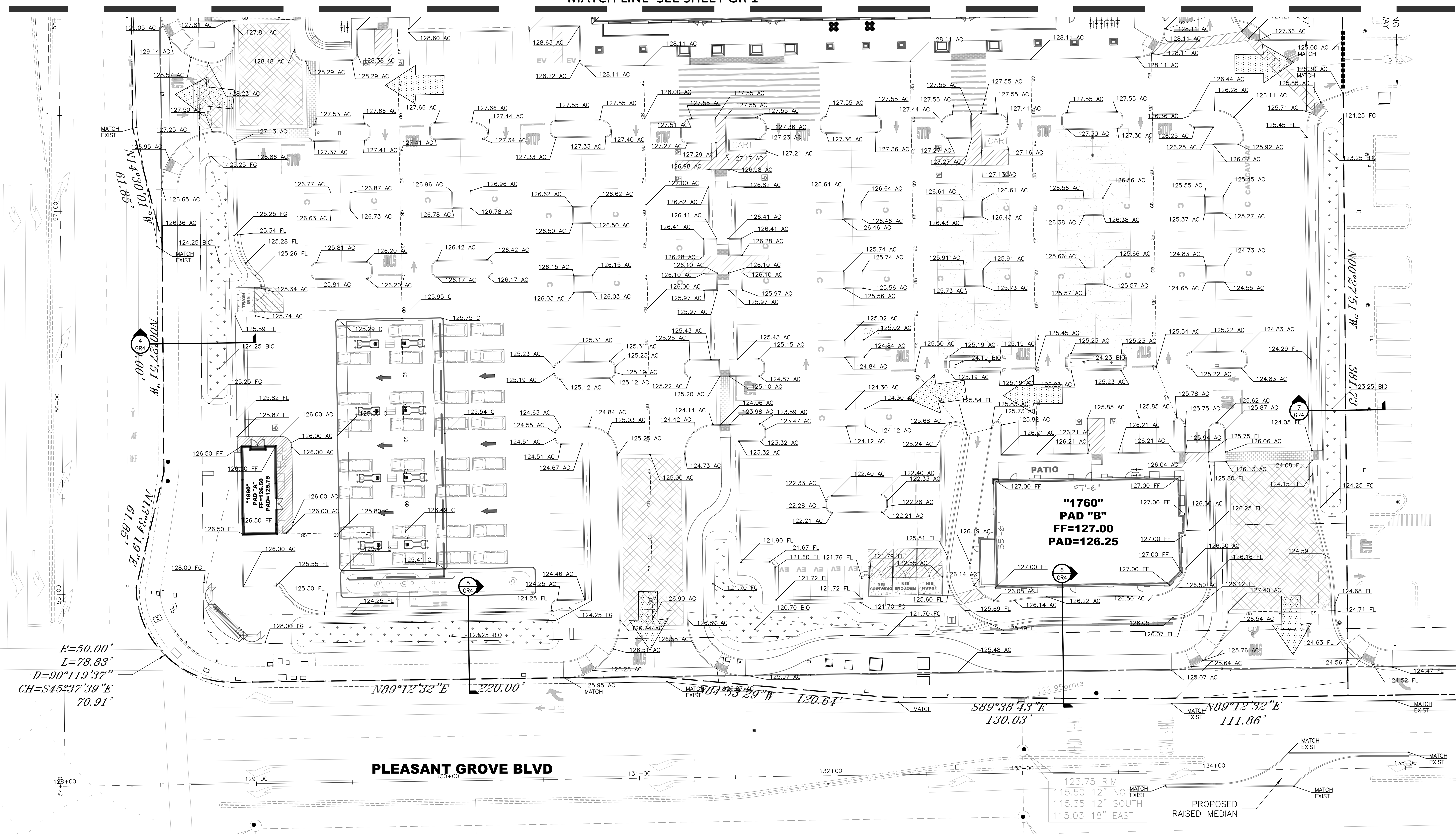
RSC JOB #: 277-001
DATE: 07/22/2022

RSC ENGINEERING
1420 Rocky Ridge Drive, Suite 150
Roseville, CA 95661
Ph: 916.788.2884 Fax: 916.788.4408

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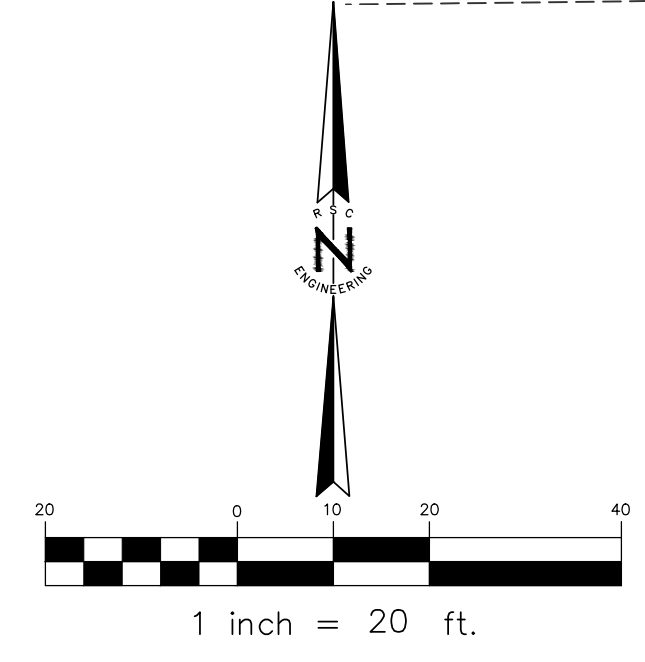
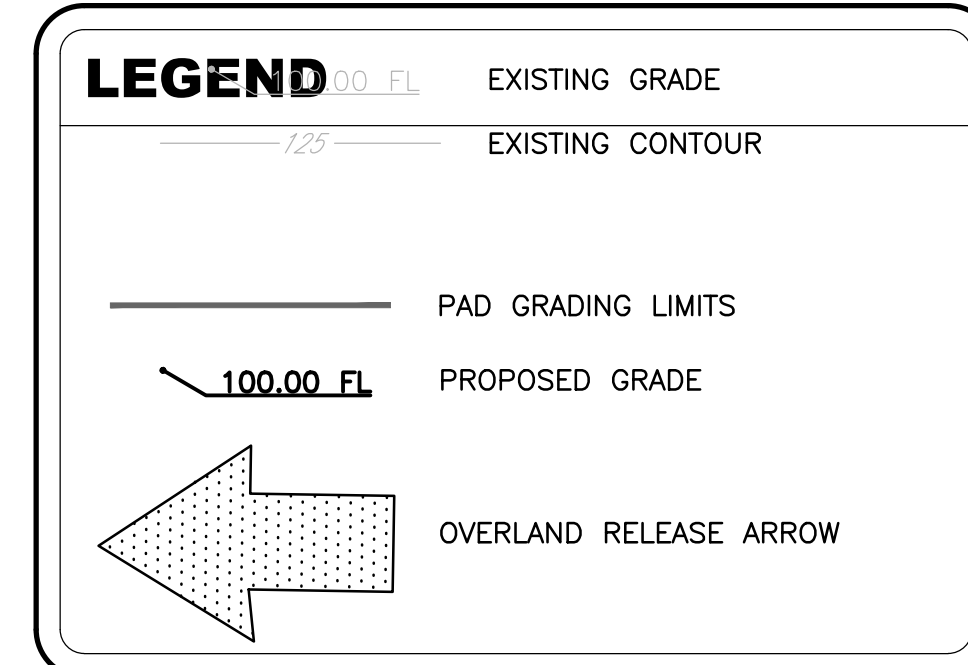
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$R=50.00'$
 $L=78.83'$
 $D=90^{\circ}119'37''$
 $CH=S45^{\circ}37'39''E$
 $70.91'$

PLEASANT GROVE BLVD

- NOTES**
- CONTRACTOR SHALL STRIP AND REMOVE EXISTING ORGANICS LAYER IN ACCORDANCE WITH THE GEOTECHNICAL REPRESENTATIVE RECOMMENDATIONS. ORGANICS SHALL BE PLACED IN A TEMPORARY STOCKPILE AND PLACED IN DISTURBED AREAS UPON COMPLETION OF GRADING ACTIVITIES.
 - ALL GRADING AND COMPACTION OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH THE GEOTECHNICAL REQUIREMENTS.
 - CONTRACTOR SHALL ADJUST EXISTING WATER, SEWER AND STORM DRAIN APPURTENANCES TO GRADE.

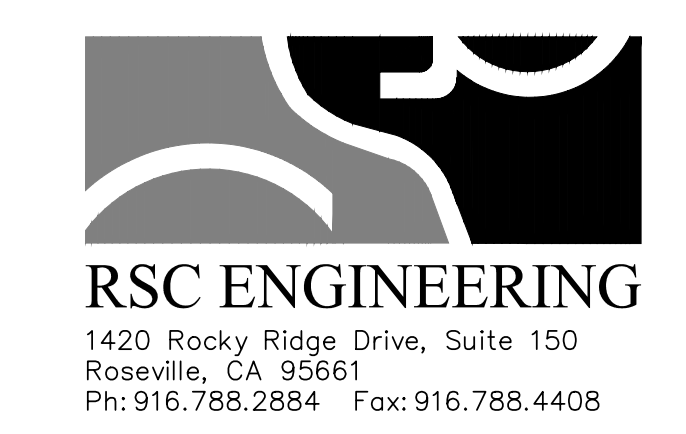


MATCH LINE SEE SHEET GR 3

PRELIMINARY GRADING PLAN
WEST ROSEVILLE MARKETPLACE
 1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

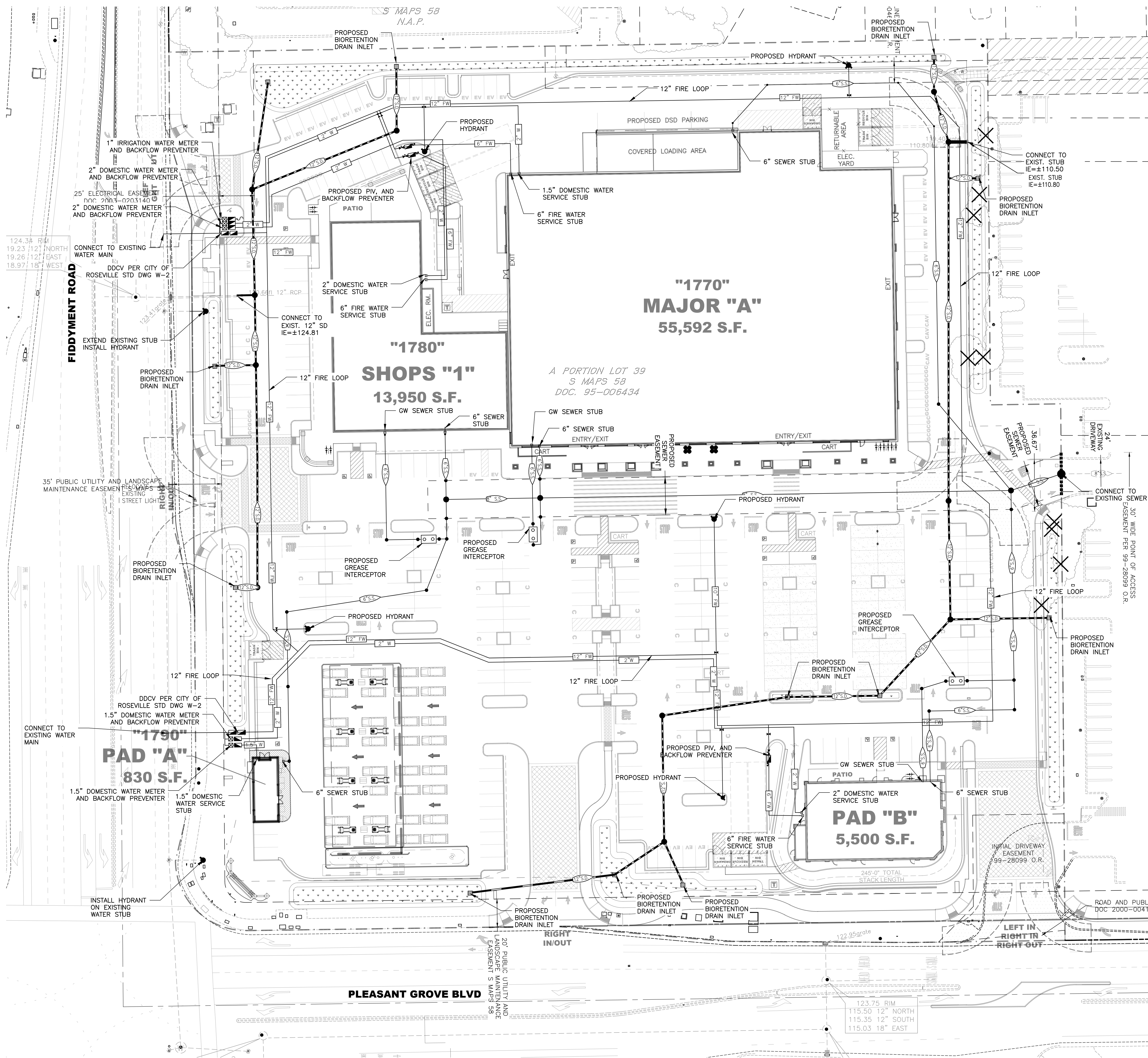
GR2

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LEGEND	
	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER
	PROPOSED STORM DRAIN
	EXISTING STORM DRAIN
	PROPOSED DOMESTIC WATER LINE
	EXISTING WATER LINE
	PROPOSED FIRE SERVICE
	PROPOSED WATER METER
	PROPOSED FIRE DEPARTMENT CONNECTION ASSEMBLY
	PROPOSED FIRE HYDRANT
	PROPOSED BIORETENTION STORM WATER PLANTER
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLET
	EXISTING PROPERTY LINE
	EXISTING P.U.E.

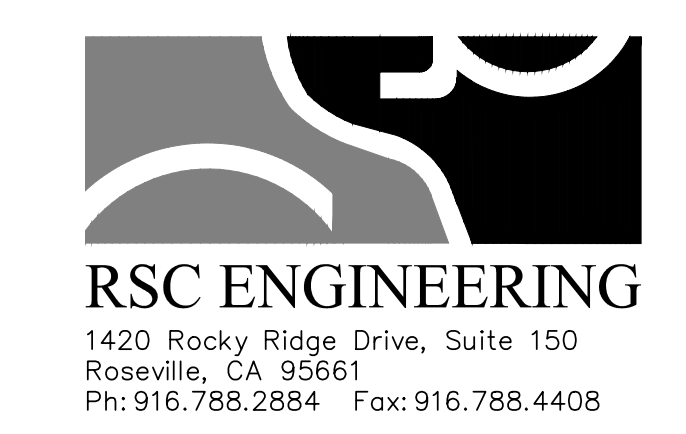
POTHOLING INSTRUCTIONS

A MINIMUM TWO WEEKS PRIOR TO BEGINNING CONSTRUCTION ON THE UTILITY LINES, THE CONTRACTOR SHALL POTHOLE THE EXISTING UTILITIES SHOWN ON THESE PLANS AND SURVEY AND DETERMINE THE ELEVATION, SIZE AND LOCATION OF THE UTILITIES TO THE NEAREST 0.10'. THE CONTRACTOR SHALL COORDINATE TIMING OF THE POTHOLES WORK WITH RSC ENGINEERING. AFTER SURVEY CREWS HAVE LOCATED THE UTILITIES THE CONTRACTOR SHALL BACKFILL THE POTHOLES AND PLACE AC IF NECESSARY, ALL IN ACCORDANCE WITH CITY STANDARDS. A COPY OF THE SURVEY INFORMATION SHALL BE PROVIDED TO RSC ENGINEERING. RSC ENGINEERING SHALL COORDINATE WITH THE LOCAL JURISDICTION AND REVISE THE ALIGNMENT OF THE UTILITY LINES IF NECESSARY. REVISIONS SHALL REQUIRE THE APPROVAL OF THE LOCAL JURISDICTION.

PRELIMINARY UTILITY PLAN
WEST ROSEVILLE MARKETPLACE
 1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

UT1

RSC JOB #: 277-001
 DATE: 07/22/2022



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ELECTRICAL LEGEND			
SYMBOL	DESCRIPTION - POWER AND LIGHTING	SYMBOL	DESCRIPTION - LOW VOLTAGE DEVICES
+xx"	INSTALL DEVICE AT HEIGHT INDICATED (+60" = MOUNT AT 60' AFF)		NOTE: LOW VOLTAGE DEVICES TO BE ROUGH-IN ONLY. PROVIDE EACH ROUGH-IN WITH APPROPRIATE SIZE JUNCTION BOX AND 3/4" CONDUIT MINIMUM STUBBED INTO ACCESSIBLE CEILING SPACE ABOVE, UNO ON PLANS.
§	SINGLE POLE WALL SWITCH	☎	TELEPHONE OUTLET
2 §	WALL SWITCH - DESIGNATION AS FOLLOWS: 2=2 POLE 4=4-WAY 3=3-WAY P=PILOT LIGHT M=MOTOR RATED SWITCH H=LIGHT HANDLE D=DIMMER - REFER TO LIGHTING CONTROL SCHEDULE T=TIMER OR=LIGHTING OVERRIDE - REFER TO LIGHTING CONTROL SCHEDULE	☎	TELEPHONE/DATA OUTLET
⊕	SIMPLEX RECEPTACLE - NEMA 5-20R, UNO	☎	DATA OUTLET
⊕	DUPLEX RECEPTACLE - NEMA 5-20R, UNO	☎	BELL
⊕	QUAD RECEPTACLE - NEMA 5-20R, UNO	☎	PUSH BUTTON
⊕	CEILING MOUNTED RECEPTACLE - NEMA 5-20R, UNO	☎	TELEVISION OUTLET
⊕	SPECIAL PURPOSE RECEPTACLE - REFER TO PLANS FOR MORE INFORMATION	☎	CAMERA
⊕	MULTI-USE FLOOR BOX	☎	CARD READER
⊕	RECEPTACLE DESIGNATION - REFER TO PLANS FOR MORE INFORMATION	☎	INTERCOM
⊕	CIRCUIT DESIGNATION AS FOLLOWS: A-1 SINGLE PHASE CIRCUIT TO PANELBOARD 'A', CIRCUIT #1 WITH (1) HOT/SWITCH LEG, (1) NEUTRAL AND (1) GROUND A-3,5 SINGLE PHASE CIRCUIT TO PANELBOARD 'A', CIRCUIT #3,5 WITH (2) HOT CONDUCTORS AND (1) GROUND. PROVIDE NEUTRAL AS REQUIRED PER EQUIPMENT. A-7,9,11 THREE PHASE CIRCUIT TO PANELBOARD 'A', CIRCUIT #7,9,11 WITH (3) HOT CONDUCTORS AND (1) GROUND. PROVIDE NEUTRAL AS REQUIRED PER EQUIPMENT. REFER TO PANELBOARD SCHEDULE FOR WIRE SIZE. ALL CONDUIT SHALL HAVE EGC. MOUNT 6" ABOVE COUNTER	☎	FIRE ALARM HORN
⊕	JUNCTION BOX	☎	FIRE ALARM HORN/STROBE
⊕	LIGHT FIXTURE - REFER TO LIGHT FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION.	☎	FIRE ALARM STATION
⊕	LOWER CASE LETTERING INDICATES SWITCHING SCHEME (I.E. CONNECT LIGHT FIXTURE TO SWITCH LED 'a').	☎	FIRE ALARM PULL STATION
⊕	EXIT SIGN - CEILING/WALL/FLOOR MOUNTED. PROVIDE ARROWS AS INDICATED ON PLAN. REFER TO LIGHT FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION.	☎	HEAT SENSOR
⊕	ELECTRICAL PANELBOARD - SURFACE AND RECESSED MOUNTED	☎	SMOKE SENSOR
⊕	DISCONNECT SWITCH 60/340 = 60 AMP SWITCH, 3 POLE 60/340 = 60 AMP SWITCH, 3 POLE, 40 AMP FUSE	☎	DOOR HOLD
⊕	MOTORIZED DAMPER	☎	DOOR CONTACT
⊕	MOTORIZED DAMPER CIRCUITING		
SYMBOL	DESCRIPTION - DRAFTING SYMBOLS		
⊕	INDICATES DETAIL, PLAN, SECTION, AND/OR DIAGRAM (APPLIES ONLY WHERE INDICATED ON DRAWINGS)		
⊕	INDICATES DRAWINGS ON WHICH DETAIL APPEARS		
⊕	INDICATES SECTION NUMBER		
⊕	INDICATES DRAWINGS ON WHICH DETAIL APPEARS		
⊕	INDICATES REVISION AND NUMBER		
⊕	SHEET NOTE NUMBER		
NOTE: NOT ALL SYMBOLS SHOWN IN THIS LEGEND MAY BE USED IN THESE DRAWINGS.			

ELECTRICAL GENERAL NOTES:

- DO NOT SCALE THESE DRAWINGS; REFER TO LARGEST SCALE ARCHITECTURAL PLANS.
- THESE DRAWINGS ARE DIAGRAMMATIC ONLY AND ARE NOT INTENDED TO SHOW MINOR DETAILS AND EXACT LOCATIONS. DESIGN ADJUSTMENTS SHALL BE ANTICIPATED BY THE CONTRACTOR TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH NEC/NFPA 70. CONTRACTOR SHALL NOTIFY ENGINEER REGARDING ANY CODE DISCREPANCIES SHOWN ON PLAN. ANY PERMIT OR INSPECTION FEES ARE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
- CONTRACTOR SHALL INSTALL GROUND AND BOND SYSTEM PER NEC.
- CONTRACTOR SHALL COORDINATE TELEPHONE AND DATA OUTLETS REQUIRED WITH OWNER PRIOR TO GYP BOARD BEING INSTALLED.
- CONDUCTORS SHALL BE THHN, THWN, THW, 120V BRANCH CIRCUITING SHALL BE AS FOLLOWS. BETWEEN WIRE SIZES INDICATED HERE AND PANELBOARD SCHEDULES, CONTRACTOR TO PROVIDE THE LARGER GAUGE WIRE.
6.A. 0-100' = #12 AWG
6.B. 101-150' = #10 AWG
6.C. 151-250' = #8 AWG
- WIRE #10 AWG AND SMALLER SHALL BE SOLID AND WIRES #8 AND LARGER SHALL BE STRANDED. PROVISIONS OF WIRE COLOR CODE SECTION OF NEC SHALL BE STRICTLY COMPLIED WITH AND BE CONSISTENT THROUGHOUT ENTIRE SYSTEM.
- ALL CIRCUITS SHALL BE PROVIDED WITH AN INSULATED EQUIPMENT GROUND CONDUCTOR SIZED IN ACCORDANCE WITH NEC. RACEWAY SHALL NOT BE USED AS EQUIPMENT GROUND.
- IN ADDITION TO MECHANICAL FASTENING TO CEILING TRACK, SUPPORT LIGHT FIXTURES AT EACH CORNER INDEPENDENTLY OF SUSPENDED CEILING WITH 12 GAUGE WIRE. CONNECT TO STRUCTURAL SYSTEM OF BUILDING. INSTALLATION SHALL MEET OR EXCEED SEISMIC REQUIREMENTS OF LOCAL AND NATIONAL CODES.
- ALL CONDUIT SHALL BE CONCEALED UNLESS OTHERWISE NOTED. ALL EMPTY CONDUIT SHALL HAVE A PULL WIRE.
- ALL JUNCTION OR DEVICE BOXES SHALL HAVE A COVER.
- EACH PIECE OF ELECTRICAL GEAR, EQUIPMENT, ETC., SHALL BEAR A "UL" LABEL.
- ALL EMERGENCY AND EXIT LIGHTS SHALL BE CONNECTED TO THE CIRCUIT INDICATED IN THE PANEL SCHEDULES AHEAD OF SWITCHING OR CONTACTORS.
- PROVIDE ENGRAVED PHENOLIC LABELS ON ALL ELECTRICAL GEAR, DISCONNECTS, ETC.
- EC SHALL INSTALL HEAVY DUTY NEMA-1 DISCONNECTS AT ALL INTERIOR LOCATIONS INDICATED AND HEAVY DUTY NEMA-3R DISCONNECTS AT ALL EXTERIOR LOCATIONS INDICATED ON THESE DRAWINGS.
- LIGHTING SWITCHES, RECEPTACLES AND/OR DATA OUTLETS SHALL NOT BE MOUNTED BACK TO BACK IN ANY WALL.
- ELECTRICAL DEVICE MOUNTING HEIGHTS (UNO):
PANELBOARDS 6'-6" AFF TO TOP
TOGGLE SWITCH 4'-0" AFF TO TOP
RECEPTACLES 1'-6" CENTERLINE
VOICE/DATA OUTLETS 1'-6" CENTERLINE
EMERGENCY LIGHTS 7'-6" AFF TO BOTTOM
- PROVIDE TYPE-WRITTEN PANELBOARD SCHEDULES FOR ALL ELECTRICAL PANELBOARDS.
19.A. ALL NEW PANELBOARDS SHALL HAVE A COMMERCIALY PRODUCED PERMANENT LABEL APPLIED TO WARN OF POTENTIAL ARC FLASH HAZARDS, IN ACCORDANCE WITH THE NEC AND NFPA 70E.
19.B. LABELING MAY BE COMPLETED BY EQUIPMENT MANUFACTURER, EQUIPMENT VENDOR/SUPPLIER, OR THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THAT ALL NEW PANELBOARDS ARE PROPERLY LABELED IN THE FIELD.
- ALL 120 VOLT OUTDOOR RECEPTACLES TO HAVE "WET LOCATION - IN USE" COVERS.
- PROVIDE 0-10V DIMMING WIRING FROM ALL 0-10V DIMMABLE FIXTURES TO CORRESPONDING 0-10V DIMMING CONTROLLER / OCCUPANCY SENSOR.
- ALL WORK IS ASSUMED TO BE NEW, UNLESS NOTED OTHERWISE.

LOW VOLTAGE SCHEDULE	
SYMBOL	DESCRIPTION
⊕	NUMBER OF DATA CAT6A CABLES ROUTED FROM SINGLE GANG BOX
⊕	NUMBER OF PHONE CAT6A CABLES ROUTED FROM SINGLE GANG BOX
⊕	NUMBER OF HDMI ROUTED FROM SINGLE GANG BOX
⊕	PROVIDE CABLE INDICATED BY CABLE TYPE TAG FOR EACH SYMBOL ON PLAN. ROUTE CABLE BACK TO MAIN SERVER EQUIPMENT.
⊕	IF A CABLE TYPE IS NOT INDICATED, PROVIDE OPEN BOX WITH PULL STRING
RECEPTACLE SCHEDULE	
SYMBOL	DESCRIPTION
⊕	C = CONTROL DOUBLE DUPLEX RECEPTACLE. LEFT DEVICE STANDARD NON-CONTROLLED DUPLEX RECEPTACLE. RIGHT DEVICE CONTROLLED DUPLEX RECEPTACLE VIA OCCUPANCY SENSOR. HUBBELL WIRING DEVICE BR20C2xx OR EQUAL. RIGHT DEVICE WITH 2 PLUG CONTROLLED MARKING PROVIDED BY MANUFACTURER.
⊕	C = CONTROL SPLIT RECEPTACLE. TOP PLUG CONTROLLED VIA OCCUPANCY SENSOR. BOTTOM PLUG NON-CONTROLLED. HUBBELL WIRING DEVICE BR20C1xx OR EQUAL. RECEPTACLE WITH 1 PLUG CONTROL MARKING PROVIDED BY MANUFACTURER.

ELECTRICAL GENERAL NOTES AND LEGENDS
WEST ROSEVILLE MARKETPLACE
ROSEVILLE, CA

SHEET E0.1

JOB #: 22002
DATE: XX/XX/XXXX

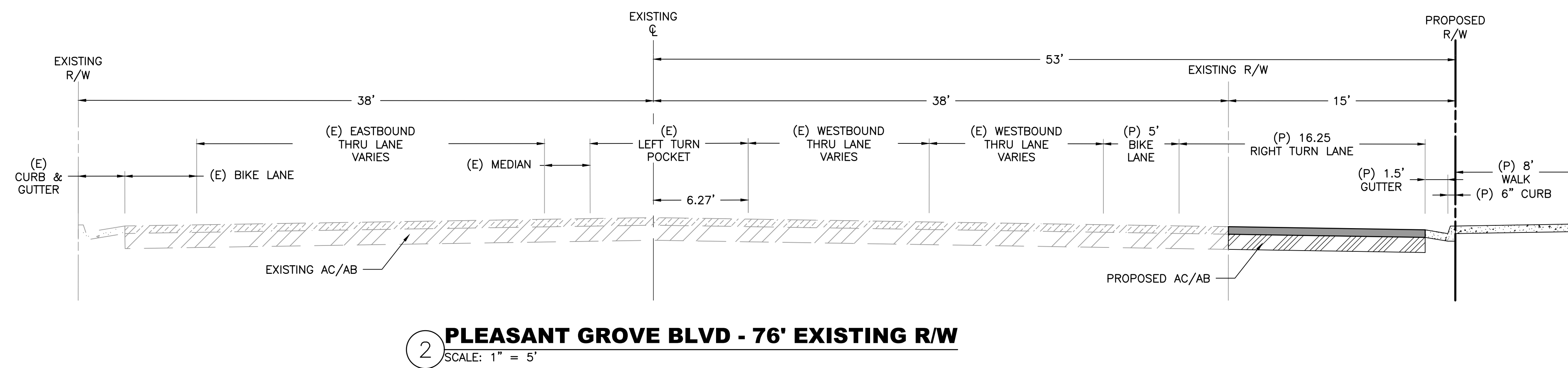
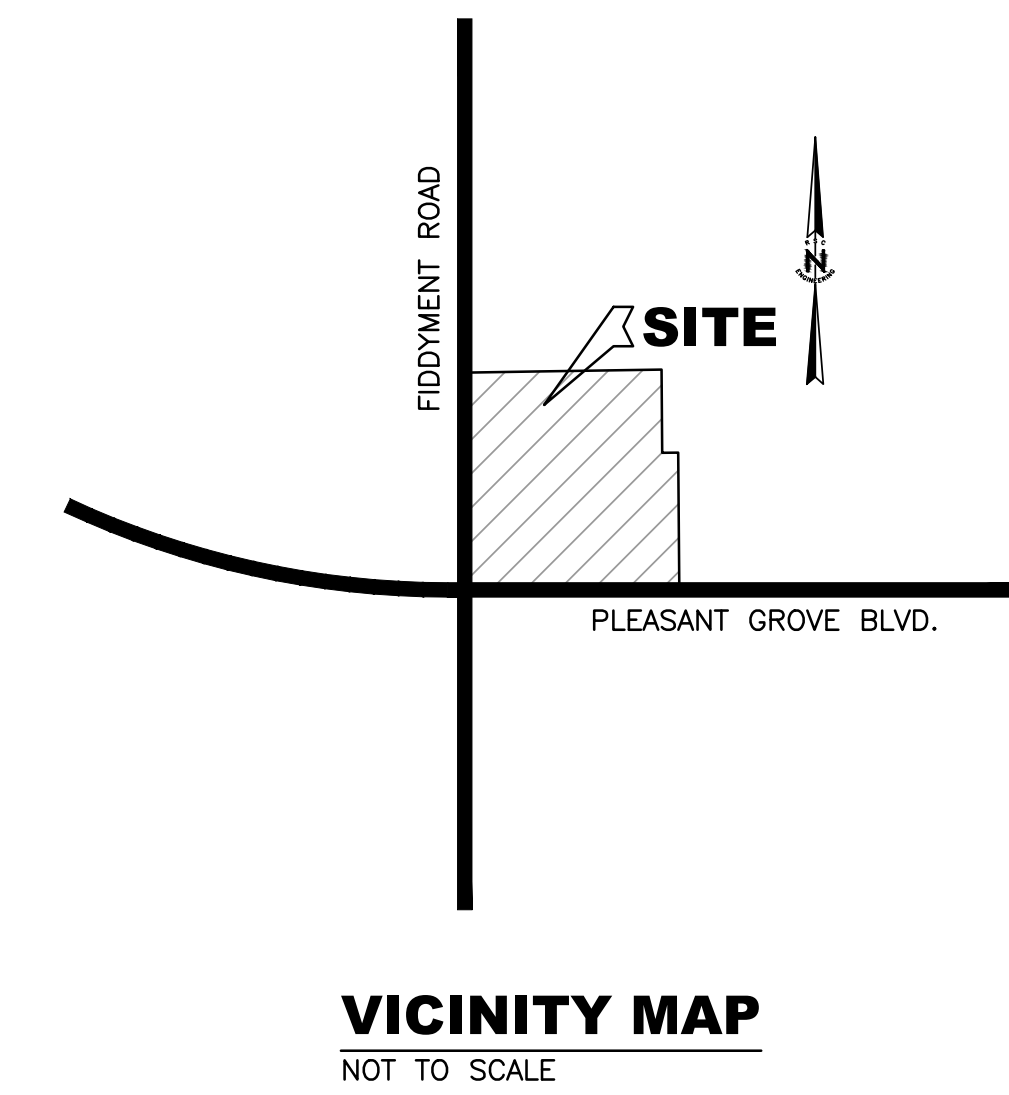
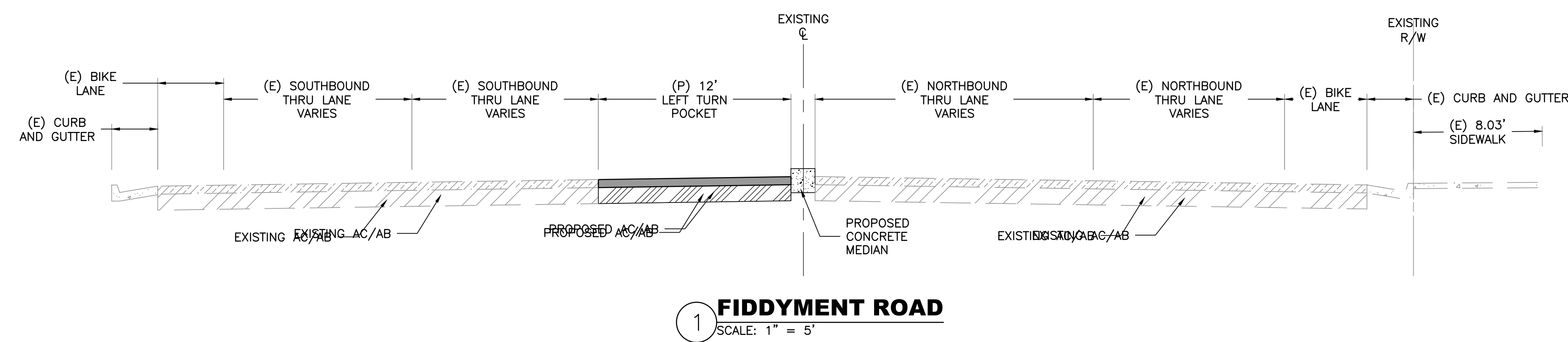


MEP Engineer of Record
Randall A. Nelson, P.E.
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Proj# 222.0070

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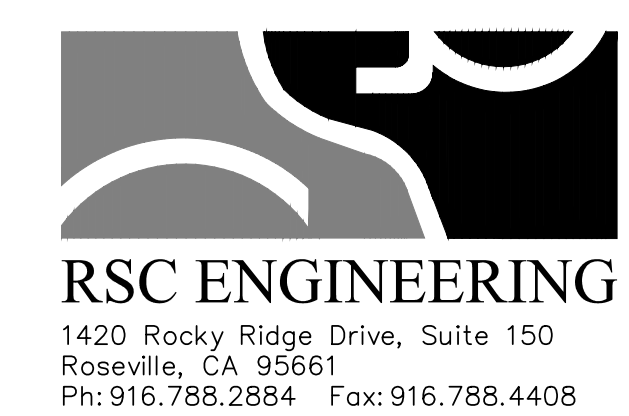


CITY OF ROSEVILLE APPROVAL

TENTATIVE MAP - SECTIONS
WEST ROSEVILLE MARKETPLACE
1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

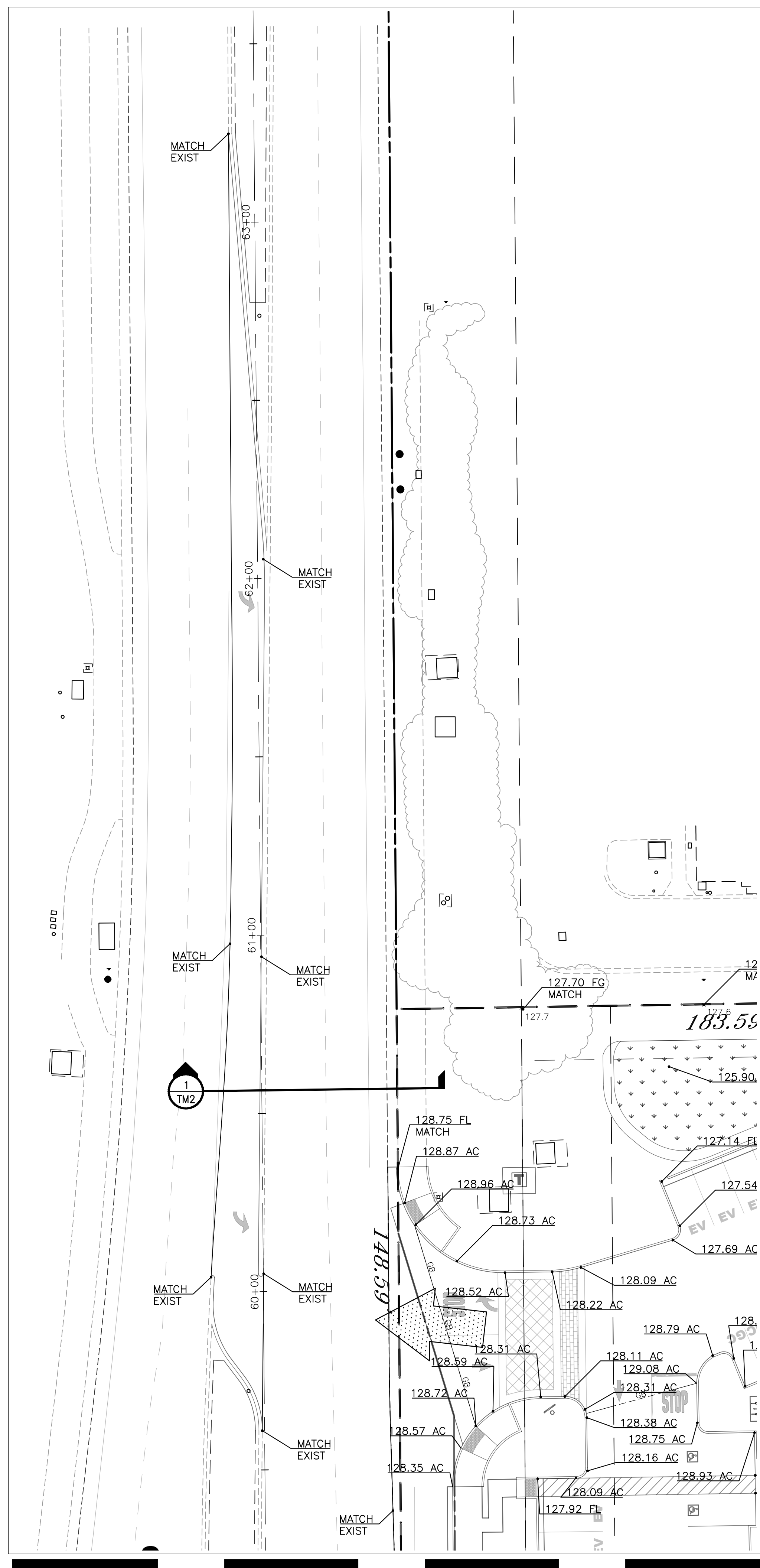
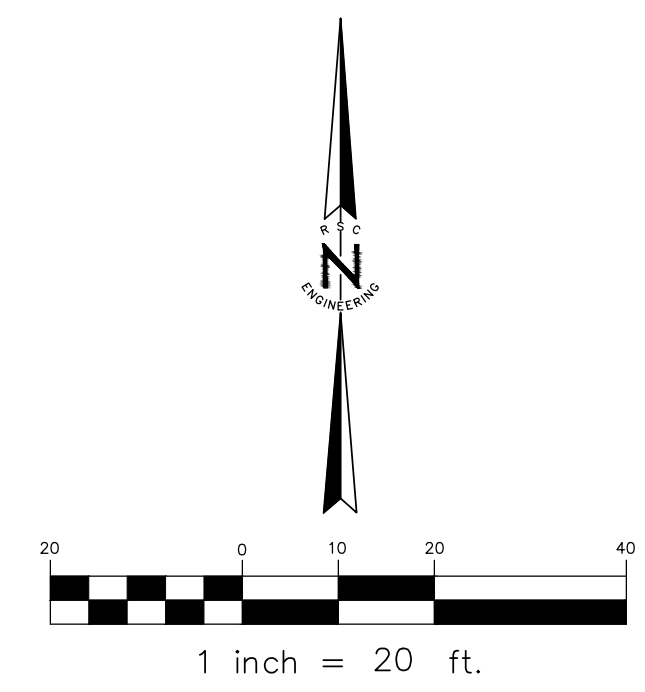
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DATE: 07/22/2022



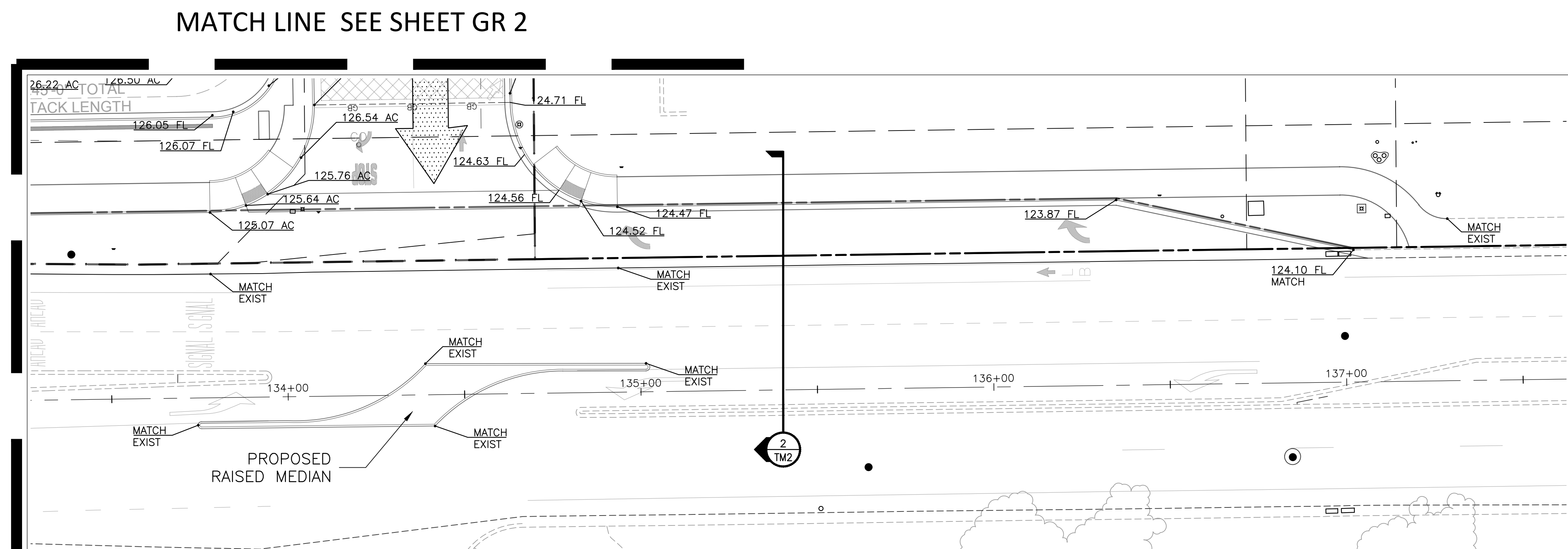
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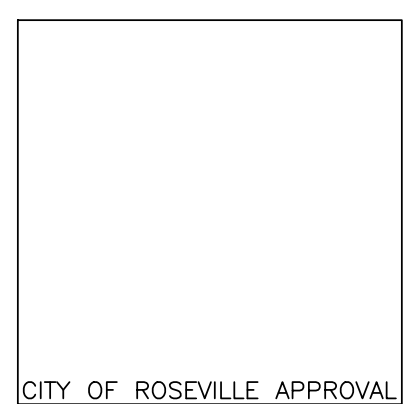
MATCH LINE SEE SHEET GR 1

MATCH LINE SEE SHEET GR 1



MATCH LINE SEE SHEET GR 2

MATCH LINE SEE SHEET GR 2



CITY OF ROSEVILLE APPROVAL

PRELIMINARY GRADING PLAN

WEST ROSEVILLE MARKETPLACE
1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

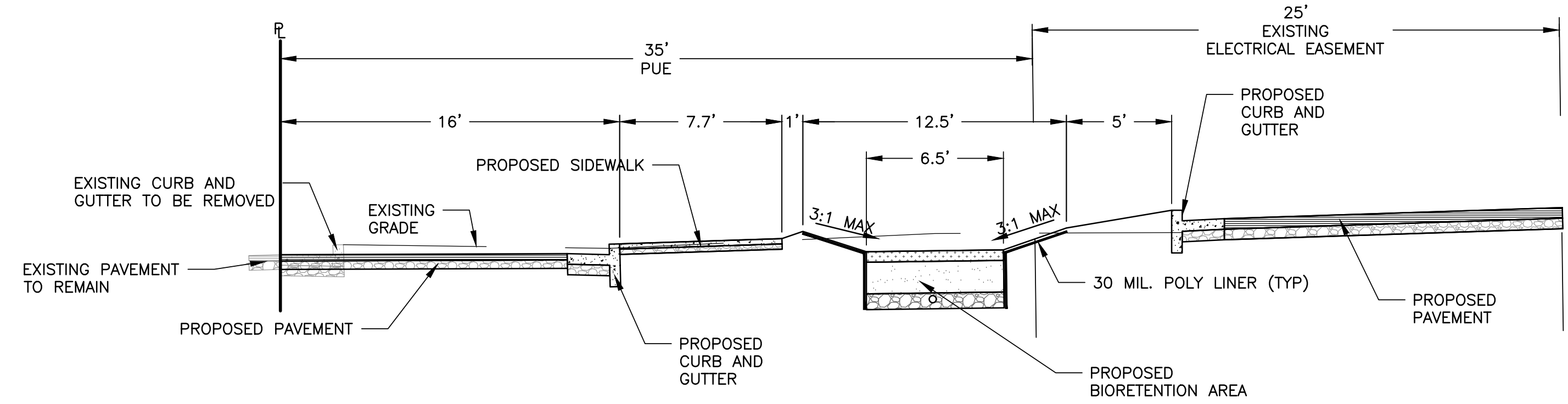
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RSC JOB #: 277-001
DATE: 07/22/2022

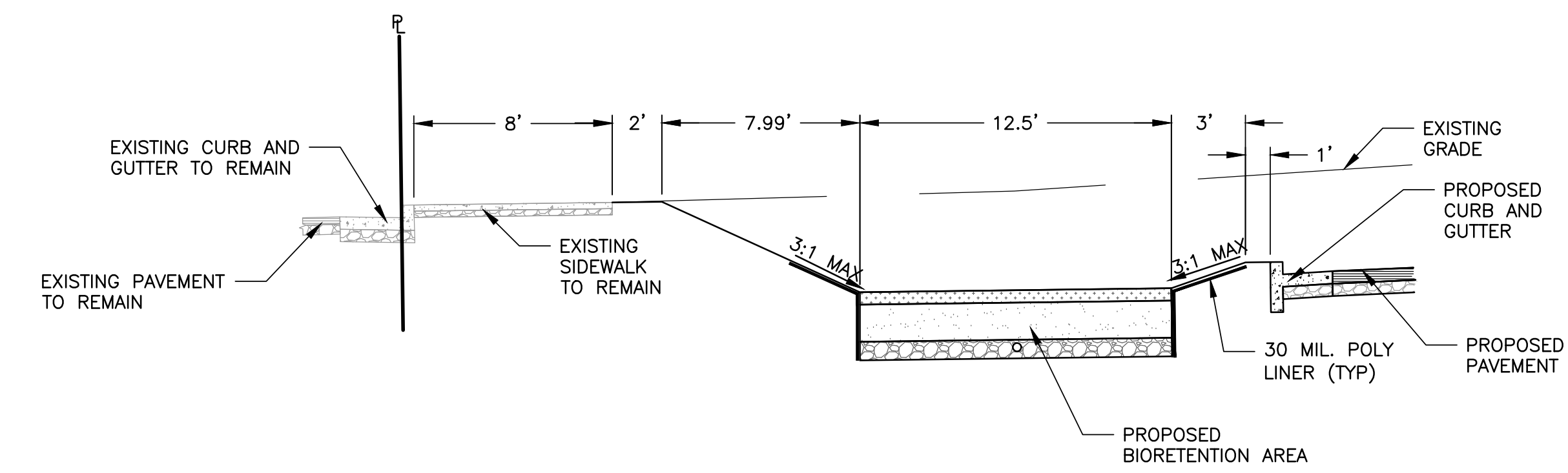


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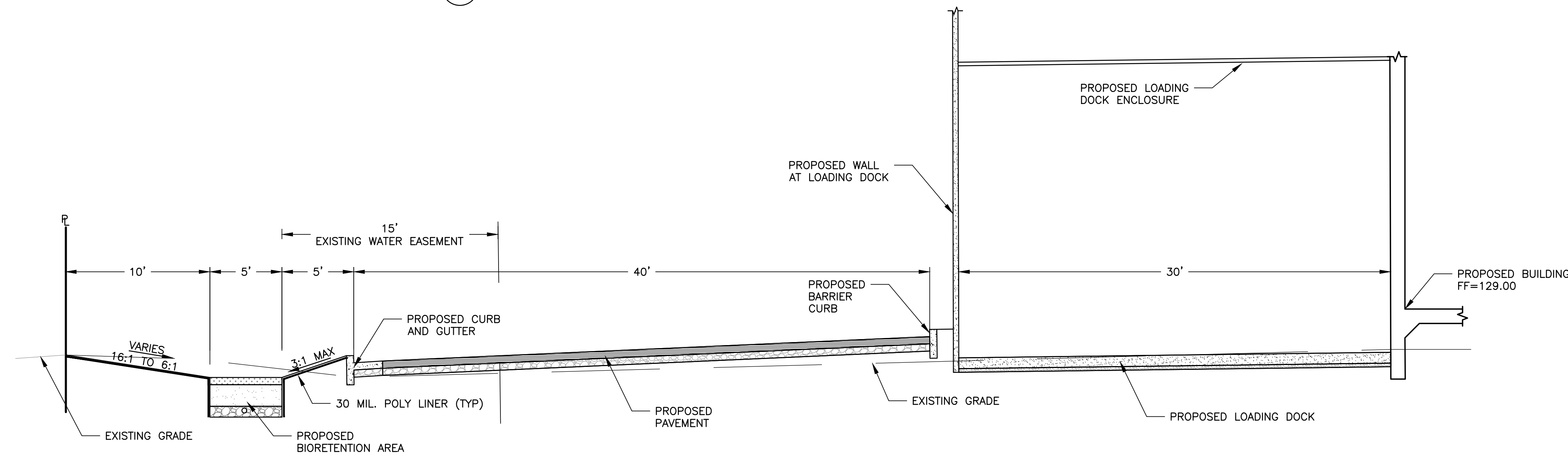
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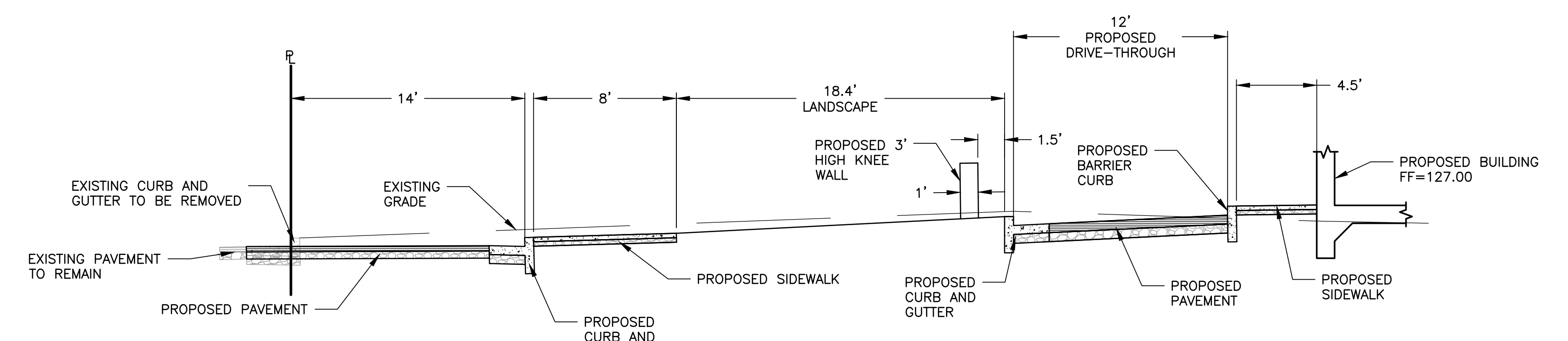
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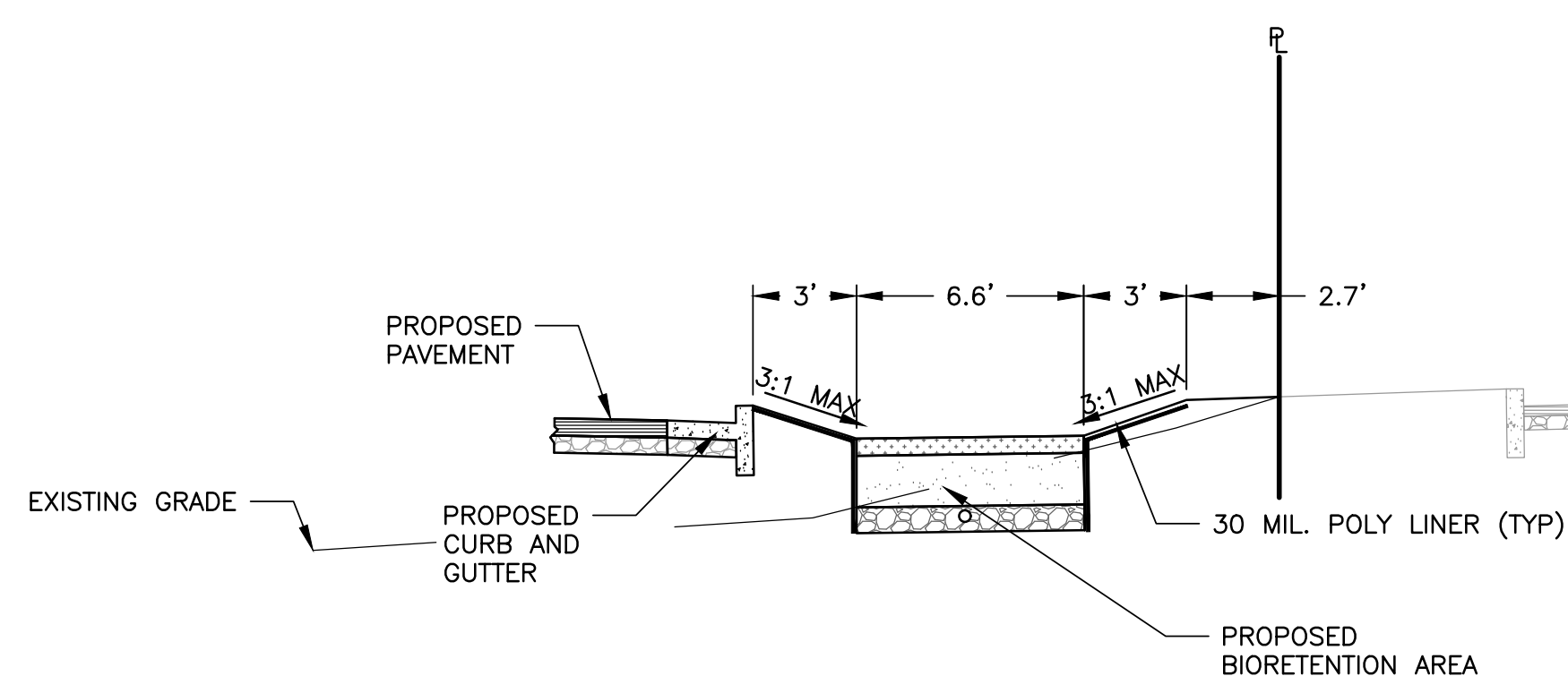
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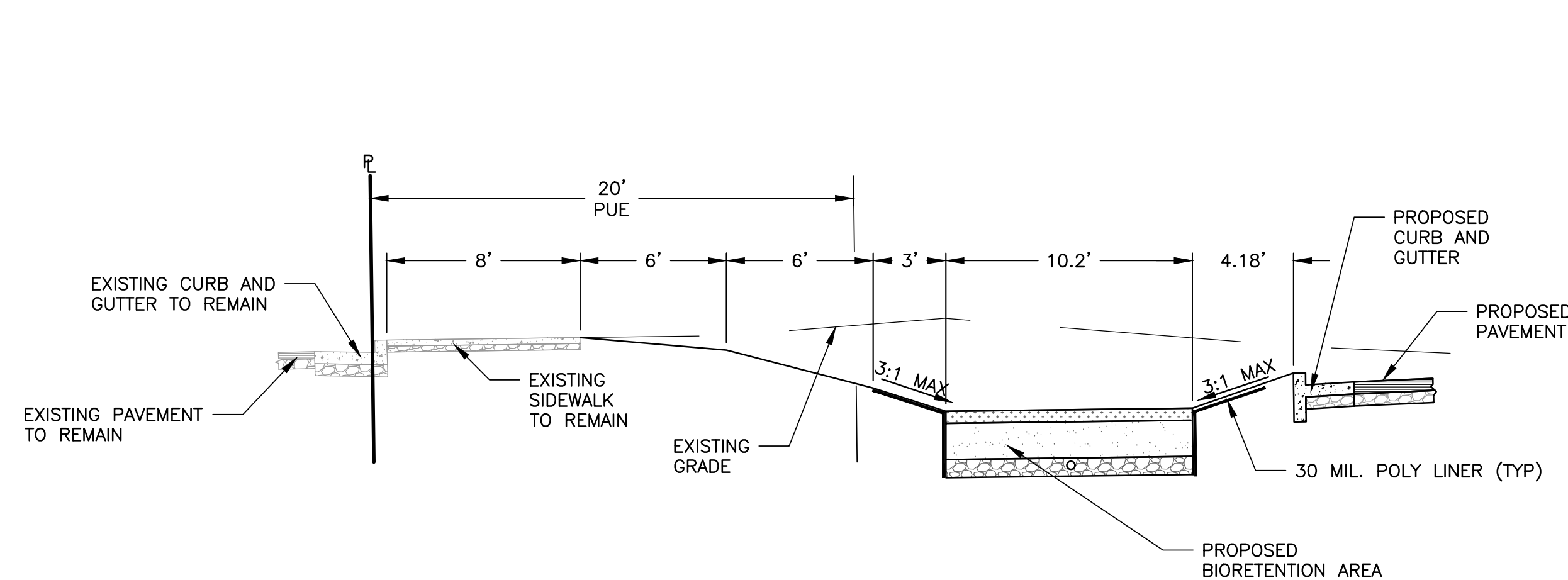
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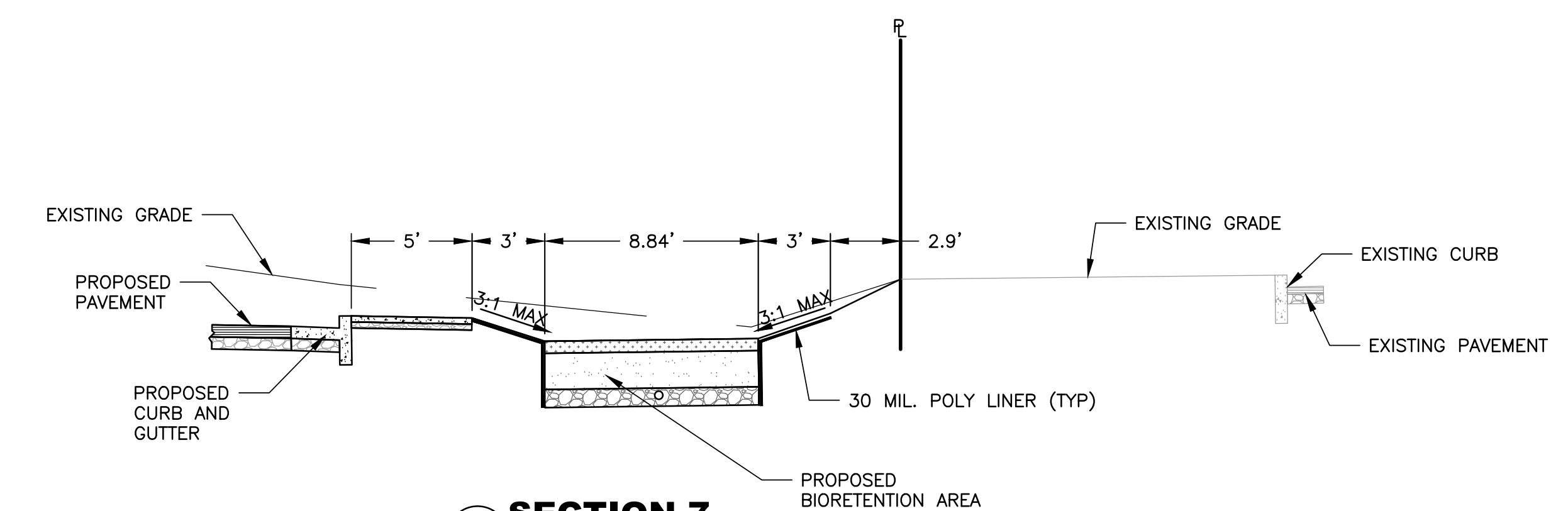
6 SECTION 6
NOT TO SCALE



3 SECTION 3
NOT TO SCALE



4 SECTION 4
NOT TO SCALE



7 SECTION 7
NOT TO SCALE

CITY OF ROSEVILLE APPROVAL

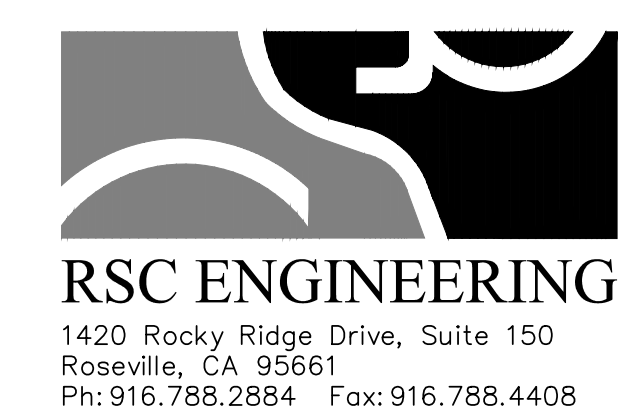
PRELIMINARY GRADING SECTIONS

WEST ROSEVILLE MARKETPLACE

1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

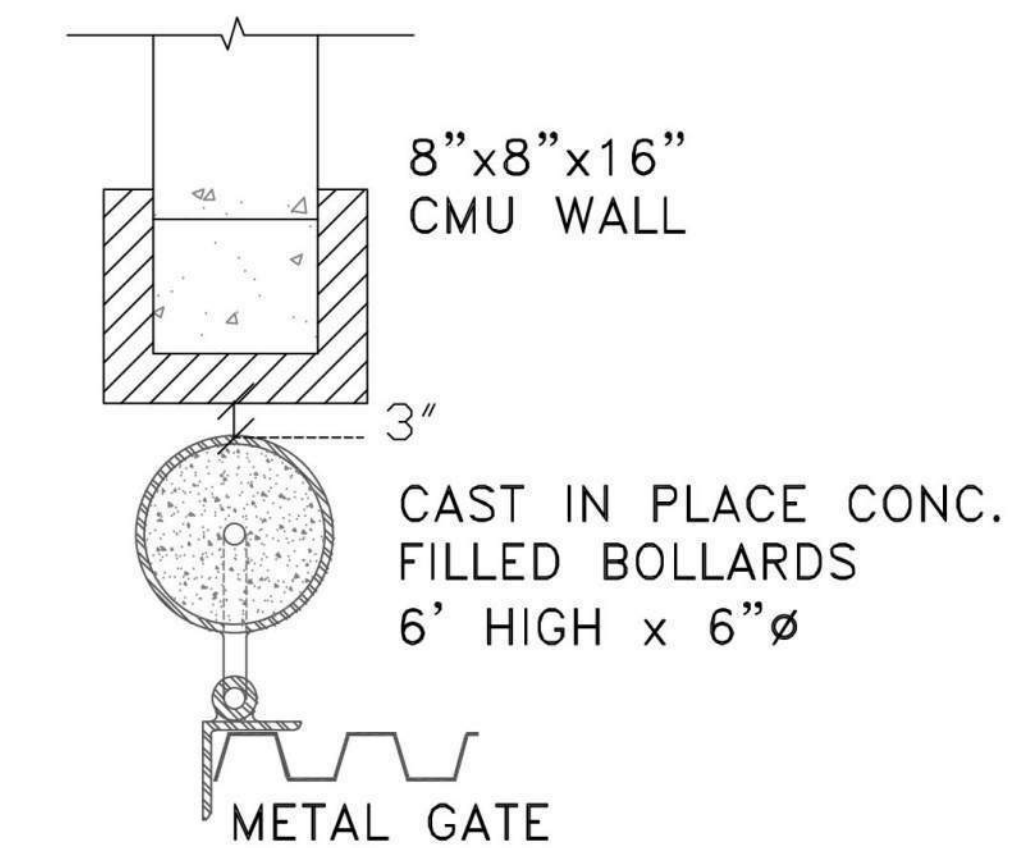
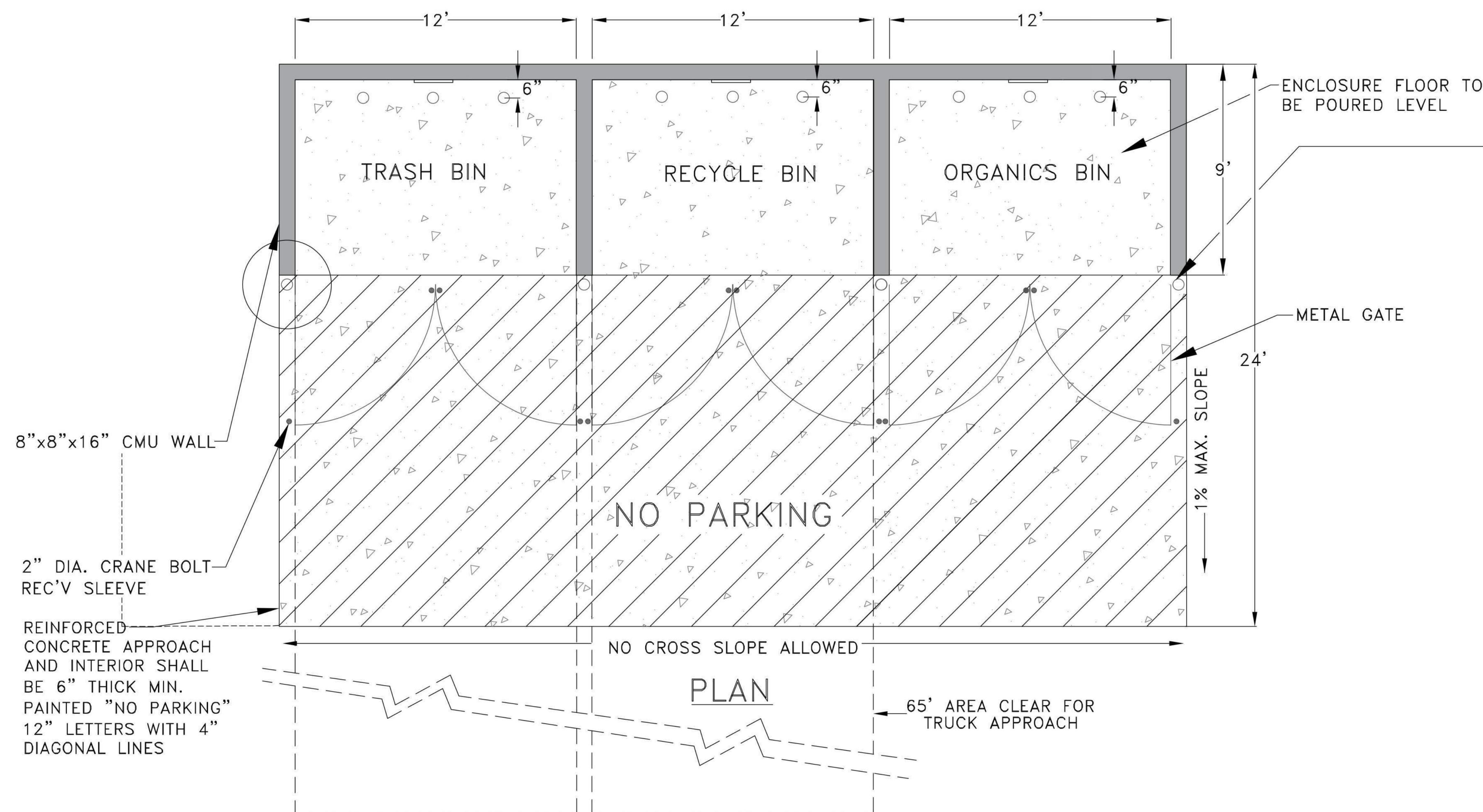
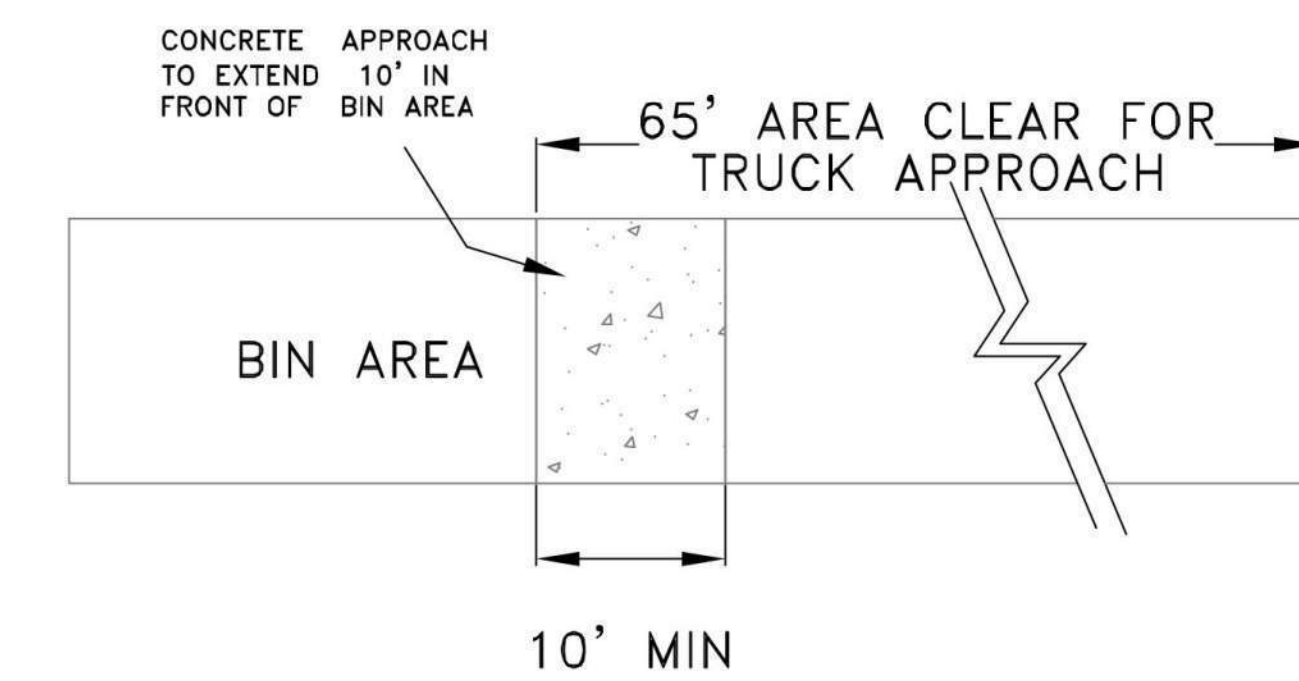
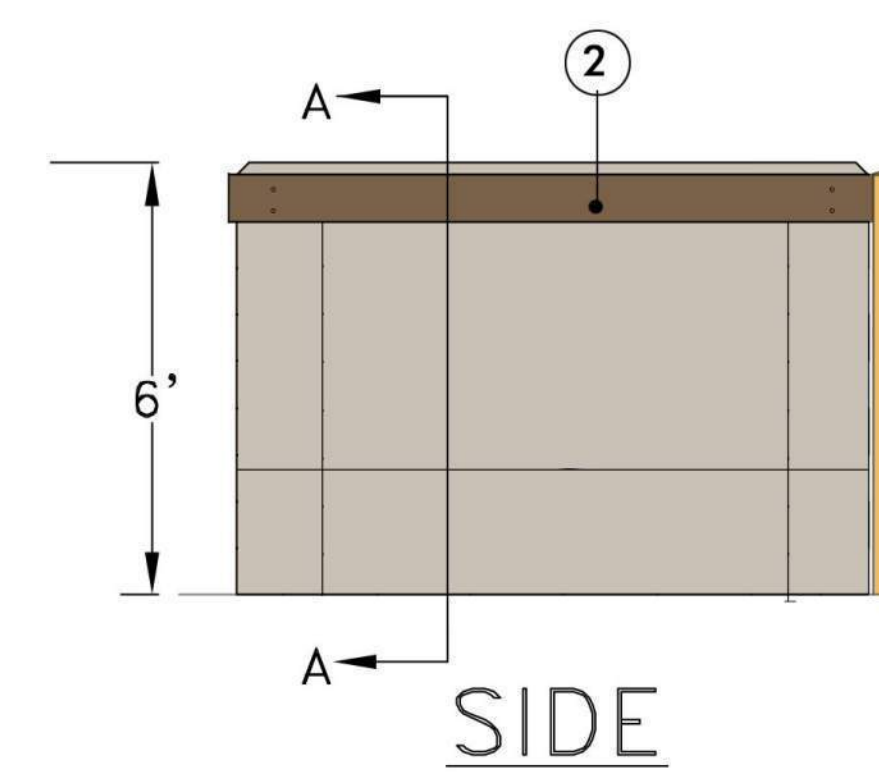
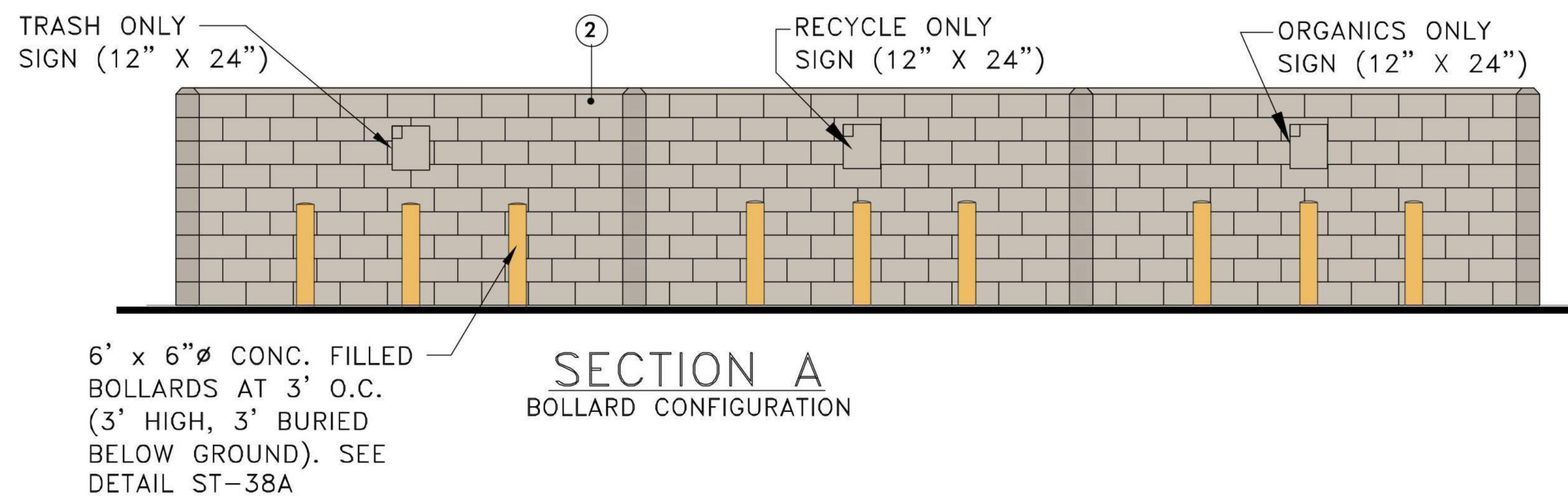
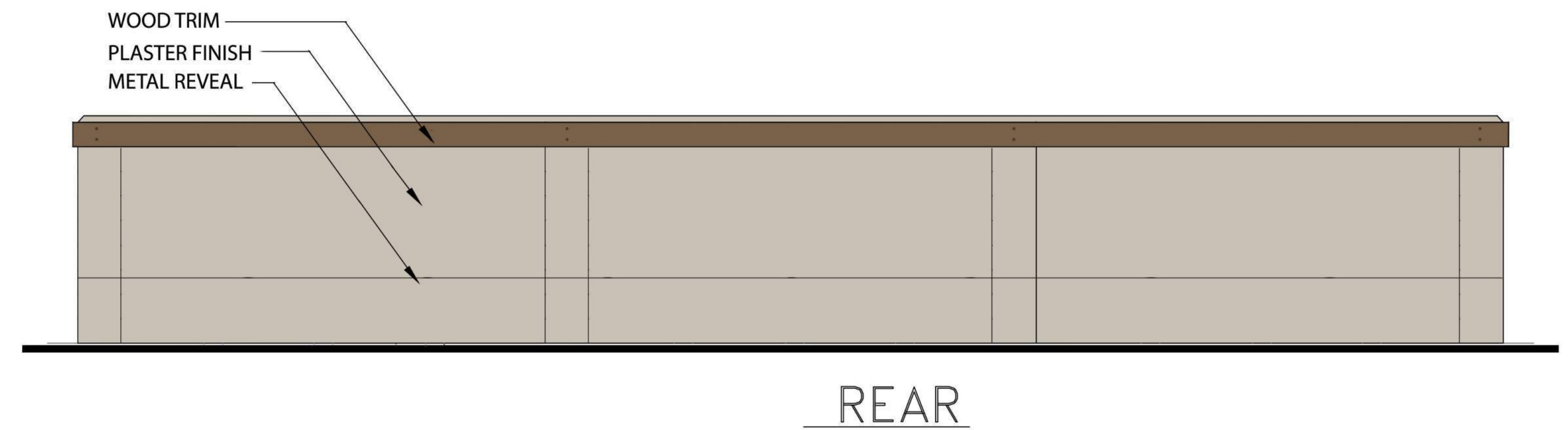
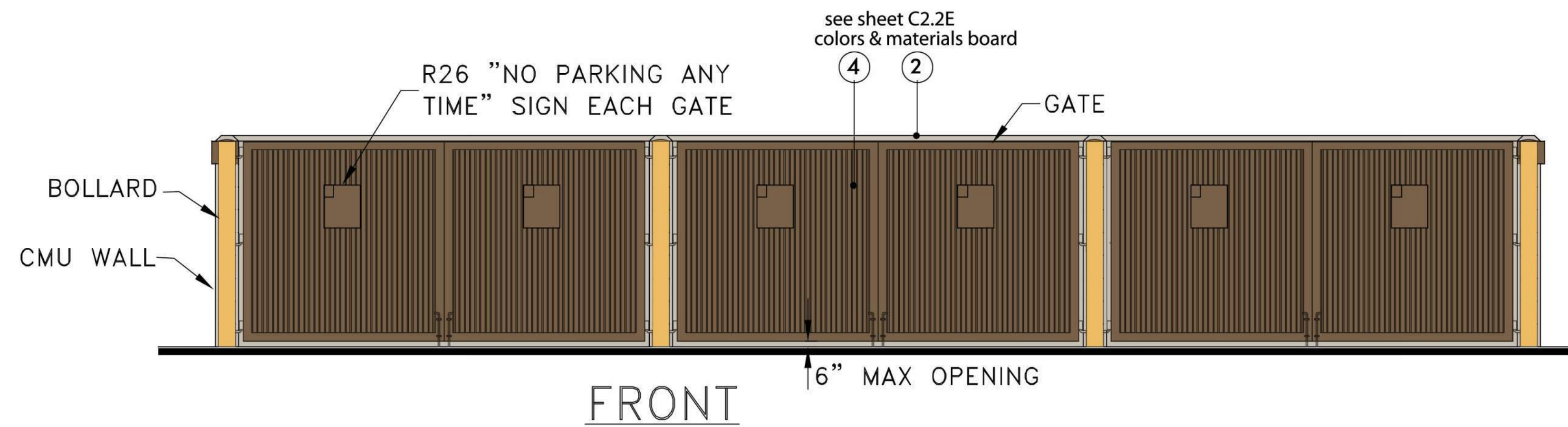
GR4

RSC JOB #: 277-001
DATE: 07/22/2022



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BOLLARD GATE DETAIL

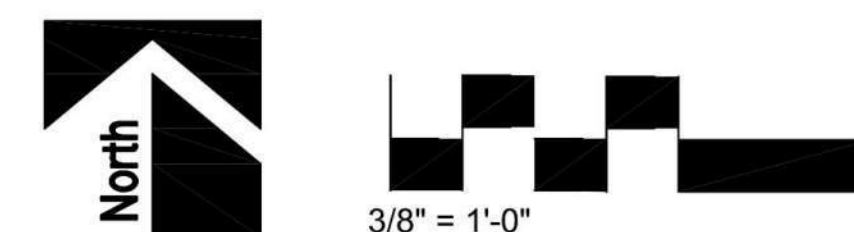
NOTES:

1. SINGLE ENCLOSURE IS 12' WIDE (INTERIOR)
2. THE EXTERIOR FINISH AND COLOR OF THE ENCLOSURE SHALL MATCH THE BUILDING PER THE DESIGN REVIEW PERMIT EXHIBITS AND/OR CONDITIONS OF APPROVAL
3. NO. 4 REBAR, 12 INCHES O.C. EACH WAY, 3 INCH DOBIES WITH WIRE TIES AT 3' INTERVALS, EACH WAY.

TYPICAL TRASH ENCLOSURE
WEST ROSEVILLE MARKETPLACE
 1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

SHEET C2.5

JOB #: 22002
 DATE: 03/15/2022
 REV: 07/11/2022



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